



City of Jacksonville Beach

11 North Third Street
Jacksonville Beach, Florida

Agenda City Council

Monday, May 7, 2018

7:00 PM

Council Chambers

MEMORANDUM TO:

The Honorable Mayor and
Members of the City Council
City of Jacksonville Beach, Florida

Council Members:

The following Agenda of Business has been prepared for consideration and action at the Regular Meeting of the City Council.

OPENING CEREMONIES: INVOCATION, FOLLOWED BY SALUTE TO THE FLAG

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

- a. 18-074 City Council Workshop Held April 9, 2018
- b. 18-075 City Council Briefing Held April 16, 2018
- c. 18-076 Regular City Council Meeting Held April 16, 2018

ANNOUNCEMENTS

COURTESY OF THE FLOOR TO VISITORS

MAYOR AND CITY COUNCIL

- 18-077 Presentation by North Florida TPO Staff on the North Florida Transportation Improvement Program

CITY CLERK

CITY MANAGER

- a. 18-078 Approve the Sale of Squad 13, a 2000 Central States/Freightliner Commercial Pumper, for the Sum of \$20,500.00
- b. 18-079 Award Bid No. 1718-14, "Sludge Hauling Services for 36 Months," to *Merrell Brothers, Inc.*, the Lowest, Qualified Bidder

RESOLUTIONS**ORDINANCES**

- a. 18-080 ORDINANCE NO. 2018-8108 (First Reading) (PUBLIC HEARING)
- AN ORDINANCE TO AMEND REDEVELOPMENT DISTRICT: RD ORDINANCE NUMBER 2008-7951, SUPPLEMENTING THE COMPREHENSIVE ZONING REGULATIONS AND ZONING ATLAS FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, AS PROVIDED UNDER CHAPTER 34 OF THE CODE OF ORDINANCES OF SAID CITY. **(Redevelopment District Zoning for a maximum 81 room hotel located at the southeast corner of Beach and A1A.)**
- b. 18-081 ORDINANCE NO. 2018-8109 (First Reading)
- AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF JACKSONVILLE BEACH; AMENDING CHAPTER 10, FIRE AND LIFE SAFETY; ARTICLE III, FIRE PREVENTION AND LIFE SAFETY; SEC. 10-3.03, CODES ADOPTED; TO PROVIDE REFERENCE TO THE STATE ADOPTED FLORIDA FIRE PREVENTION CODE; PROVIDING FOR UPDATES IN CHAPTER 10 BY ELIMINATING OBSOLETE PROVISIONS; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR CODIFICATION AND PROVIDING AN EFFECTIVE DATE. **(Updates Chapter 10 of the Life Safety Code and Adopts the 6th Edition of the Florida Fire Prevention Code.)**

ADJOURNMENT**NOTICE**

In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

The public is encouraged to speak on issues on this Agenda that concern them. Anyone who wishes to speak should submit the request to the City Clerk or to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (904) 247-6299, extension 10, no later than one business day before the meeting.

The Council Workshop began at 5:05 P.M.

The following City Council Members were in attendance:

Mayor: William C. Latham

Council Members: Lee Buck (*absent*) Keith Doherty Christine Hoffman
Bruce Thomason Phil Vogelsang Jeanell Wilson

Also present were City Manager George Forbes, Deputy City Manager Karen Nelson and Director of Human Resources Ann Meuse.

Purpose of Workshop

The purpose of the workshop was to discuss the selection of a new City Manager.

City Manager

Mr. Forbes led the discussion regarding the first steps to selecting a new City Manager. Mr. Forbes discussed the following steps:

Discussion of the selection of the interim City Manager – Mr. Forbes stated there are typically three options when selecting an interim City Manager. One option would be to appoint the current Deputy City Manager, Ms. Karen Nelson to act as Interim City Manager. A second option would be to hire a retired City Manager from the Florida City & County Management Association. A final option would be to hire/promote any other City employee or candidate to the position of Interim City Manager.

A conversation ensued, and it was agreed upon by Council to select Ms. Karen Nelson as the Interim City Manager.

Discussion on the City Manager selection process – Mr. Forbes stated the recruiting process could be done internally or by a hired consulting firm. A conversation ensued, and it was agreed upon by the Council to create an RFP (Request for Proposal) for selecting a consulting firm to manage the selection process for the City Manager position.

Council Member Hoffman referenced a section of the handout [on file] Mr. Forbes provided stating most people would not apply for a City Manager position if there is a strong internal candidate applying. Council Member Hoffman asked Ms. Nelson if she had plans to apply for the City Manager position. Ms. Nelson responded by stating she would not apply for the City Manager position.

Review of a draft job advertisement – Director of Human Resources, Ms. Ann Meuse provided a draft job advertisement [on file] for the City Manager position. Mr. Forbes stated the job description for the City

Minutes of City Council Workshop
Monday, April 9, 2018, 5:00 P.M.

Manager position should be a direct reflection on what the Council would like to see in the new City Manager.

Additional information - Ms. Nelson stated the RFP would be prepared and ready for review for the upcoming Council Briefing on April 16, 2018.

Council Member Hoffman asked if a vote would be required to appoint Ms. Nelson as Interim City Manager. Mr. Forbes responded by stating a contract would need to be prepared and Council would need to vote at an upcoming meeting.

The workshop adjourned at 5:55 P.M.

Submitted by: Jodilynn Byrd
Administrative Assistant

Approved:

William C. Latham, MAYOR

Date: _____

The Council Briefing began at 6:00 P.M.

The following City Council Members were in attendance:

Mayor: William C. Latham

Council Members: Lee Buck Keith Doherty Christine Hoffman
Bruce Thomason Phil Vogelsang (*late*) Jeanell Wilson

Also present were City Manager George Forbes, Deputy City Manager Karen Nelson and Director of Parks and Recreation Jason Phitides

Purpose of Briefing

The purpose of the briefing was to update the Council Members on projects including the following items:

City Manager

Request for Proposal for an Executive Search Consultant

Mr. Forbes reviewed a draft of the Request for Proposal (RFP) [on file] for the Executive Search Consultant regarding the search for a new City Manager. A conversation ensued between the Council members regarding edits to the proposal. Ms. Karen Nelson would make the following edits to the RFP:

- Page 23 – Scope of Services. Include a more detailed description of advertisement and recruitment.
- Page 24 – Minimum qualifications. Change *high-level management positions* to *City Manager or Assistant City Manager positions*.
- Page 25 – Criteria. Change the ranking for Qualifications from 50 to 60 and the ranking for success and tenure of candidates placed from 20 to 10

The anticipated time line for the RFP process was discussed. The RFP is anticipated to be advertised starting April 25, 2018, and a final selection of an Executive Search Consultant is anticipated to be voted on by Council at the June 18, 2018, Council Meeting.

Interim City Manager Agreement

Ms. Nelson distributed a copy of the Interim City Manager Agreement [on file] to the Council for review. Mr. Forbes stated the Council would vote on the agreement at the May 21, 2018, Council meeting.

Council Member Doherty asked if Ms. Nelson would be filling her current role as Deputy City Manager internally while serving as the Interim City Manager. Ms. Nelson responded by stating she would not fill the Deputy City Manager position with another employee while she is Interim City Manager. It is anticipated that our current City Manager, George Forbes, will assist Ms. Nelson on a part-time basis until the new City Manager is selected.

Golf Course update

Mr. Forbes stated Council Member Doherty previously expressed some minor safety concerns about the layout of the golf course. Council Member Doherty met with hired Golf Course Architect, Mr. Harrison Minchew, and Director of Parks and Recreation, Jason Phitides at the golf course to review his concerns. A map of the golf course layout [on file] was reviewed, and a conversation ensued regarding Council Member Doherty's concerns. Mr. Phitides stated the following adjustments would be made:

- The area of the course where the ball path, from holes 5 and 7, crisscross would be addressed.
- Landscaping would be added to the golf course to help eliminate safety issues on the golf course.

Additional topics discussed

Shore Protection: Mr. Forbes stated there is a good possibility the Shore Protection Project for dune restoration would be started towards the last quarter of the year. The City is waiting for the federal funding to be released.

Beach Walkovers: Mr. Forbes stated he would like to get estimates on the redesign and reconstruction of all the beach walkovers. Mr. Forbes stated he would prefer to wait until the dunes are restored to allow the new walkovers to be designed to go over the dunes rather than cutting through the dunes.

Johnson Gallery offer: Mr. Forbes stated he received a letter [on file] from Mr. Steve Diebenow (the attorney for the owner of the former Johnson Gallery property). The letter rescinded the offer for leasing the vacant lot immediately north of the Ritz, as well as leasing a number of existing public parking spaces in the new CRA-owned public parking lot to support the redevelopment of the gallery into two high-end restaurants.

Municipal Service District (MSD) Property Lease: Mr. Forbes stated the City of Jacksonville Beach previously leased property that was an old substation in Ponte Vedra Beach. The Municipal Services District previously planned to build a park on the property but never did. Mr. Forbes stated he was recently contacted by MSD stating they now have the support of St. Johns County to build a park on the leased property. Mr. Forbes stated a proposed lease extension for the property may be placed on an upcoming Council agenda once more details are received from the MSD.

Sampson Substation: Mr. Forbes stated, as listed on the April 16, 2018, agenda for Council approval, Beaches Energy Services (BES) would change out one of the 115 MVA transformers to a 224 MVA Auto Transformer, and make additional changes to allow for better substation maintenance.

The briefing adjourned at 6:50 P.M.

Submitted by: Jodilynn Byrd
Administrative Assistant

Approved:

William C. Latham, MAYOR

Date: _____

**Minutes of Regular City Council Meeting
held Monday, April 16, 2018, at 7:00 P.M.
in the Council Chambers, 11 North 3rd Street,
Jacksonville Beach, Florida**



OPENING CEREMONIES

The invocation was given by Council Member Wilson, followed by the salute to the flag.

CALL TO ORDER

Mayor Latham called the meeting to order at 7:00 P.M.

ROLL CALL

Mayor: William C. Latham

Council Members: Lee Buck Keith Doherty Christine Hoffman
Bruce Thomason Phil Vogelsang Jeanell Wilson

Also present was City Manager George Forbes.

APPROVAL OF MINUTES

It was moved by Ms. Wilson, seconded by Ms. Hoffman, and passed unanimously, to approve the following minutes:

- City Council Briefing held April 2, 2018
- Regular City Council Meeting held April 2, 2018

ANNOUNCEMENTS

Mayor Latham stated that members of Boy Scout Troop #277 are in attendance tonight as part of earning their Communication Merit Badge. There were six scouts, and they took the floor to address the Council, introducing themselves and stating their school name. The Council congratulated and thanked them all!

COURTESY OF THE FLOOR TO VISITORS

- Gary Paetau, 725 Bonaire Circle, Jacksonville Beach, stated he is a member of the Ocean Cay Homeowners Association and spoke about issues on South Beach Parkway around the Ocean Cay entrance and inquired about assistance to correct the following:
 - Traffic signal not operating correctly
 - Sight/view blocked by high grass
 - Traffic exceeding posted speed limits
 - Pedestrian crosswalk signal not operating correctly
- Julie Malmstrom, 2042 2nd Street South, Jacksonville Beach, spoke about the public parking for residents and inquired if the City of Jacksonville Beach can encourage Jacksonville to increase the hours of operation for their Public Libraries.

MAYOR AND CITY COUNCIL

Item #18-064 – Council-Manager Form of Government 80 Year Award from the Florida City and County Managers Association (FCCMA)

Jim Hanson, FCCMA President, took the floor to address the City Council and the City Manager. He presented a Certificate of Recognition for the 80th anniversary of the City of Jacksonville Beach operating under the council-manager form of government. Mr. Hanson spoke about the importance of professional management and congratulated the City on this achievement.

CITY CLERK

CITY MANAGER

(a) Item #18-065 – Accept the Monthly Financial Reports for the Month of March 2018

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to accept the financial reports for the month of March 2018, as submitted by the Chief Financial Officer.

Discussion: There were no questions or discussion.

Roll call vote: Ayes – Buck, Doherty, Hoffman, Thomason, Vogelsang, Wilson, and Mayor Latham.
The motion passed unanimously.

(b) Item #18-066 – Approve \$200,000 for Engineering Services for a Replacement 224 MVA Auto Transformer at Sampson Substation

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to approve Leidos Engineering to provide engineering services to support the Sampson Substation upgrade.

Discussion: Mr. Forbes referred to the slide displayed showing the three transformers and explained one will be rebuilt and placed on a pad for future use. Another transformer will be converted to a 224 MVA. This is a major substation, and this action will modernize it to provide more reliability.

Roll call vote: Ayes – Doherty, Hoffman, Thomason, Vogelsang, Wilson, Buck, and Mayor Latham.
The motion passed unanimously.

(c) Item #18-067 – Authorize the Mayor and City Manager to Execute the *American Public Power Association Mutual Aid Agreement*

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to authorize the City Manager and Mayor to execute the *American Public Power Association Mutual Aid Agreement*.

Discussion: Mr. Forbes explained this agreement is the same one as last year's but with updated signatures and dates for this year. The agreement covers any related expenses for other municipal utility companies called in for emergency assistance. Mr. Forbes stated his intent was that the City Manager and Mayor are authorized to execute future APA Mutual

Aid Agreements.

Roll call vote: Ayes – Hoffman, Thomason, Vogelsang, Wilson, Buck, Doherty, and Mayor Latham.
The motion passed unanimously.

(d) Item #18-068 – Award Bid Number 1718-12 Beaches Energy Services 38kV Vacuum Circuit Breakers for Guana Substation Expansion

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to award Bid Number 1718-12 Beaches Energy Services 38 kV Vacuum Circuit Breakers to the lowest responsive bidder, *ABB, Inc.*

Discussion: Mr. Forbes stated the vacuum circuit breakers were for a new transformer at the Guana Substation which will double the capacity and is necessary for the substation.

Council Member Doherty inquired if there was a reason why three out of the four bids sent out were returned 'No Bid.'

Matt Campbell, Relay Substation Supervisor for Beaches Energy Services, explained this is newer technology, and the research with other utilities showed it requires less maintenance.

Mr. Forbes added that, because it is newer technology, the availability was limited to two manufacturers and *ABB, Inc.* met the entire bid specifications at a good price. Another bidder responded and stated that their price would have been higher, so they did not submit.

Roll call vote: Ayes – Thomason, Vogelsang, Wilson, Buck, Doherty, Hoffman, and Mayor Latham.
The motion passed unanimously.

(e) Item #18-070 – Award RFQ No. 01-1718 Guana Substation Expansion Post-Design Engineering Services

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to award RFQ No. 01-1718 Guana Substation Expansion Post-Design Engineering Services to *Fred Wilson and Associates.*

Discussion: Mr. Forbes stated that during construction at the Guana Substation this engineering company will be responsible for the inspections.

Roll call vote: Ayes – Vogelsang, Wilson, Buck, Doherty, Hoffman, Thomason, and Mayor Latham.
The motion passed unanimously.

RESOLUTIONS:

(a) Item #18-071 – RESOLUTION NO. 2008-2018

Mayor Latham requested that the City Clerk read Resolution No. 2008-2018, by title only, whereupon Ms. Scott read the following:

“A RESOLUTION PROVIDING FOR THE SALE OF SURPLUS PROPERTY ONLINE.”

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to adopt Resolution No. 2008-2018, providing for the sale of surplus property online.

Summary: Mr. Forbes stated normally this is done twice a year. He stated the City may start doing it three or four times a year due to the increase in accumulation of surplus property.

Discussion: There was no discussion.

Roll call vote: Ayes – Wilson, Buck, Doherty, Hoffman, Thomason, Vogelsang, and Mayor Latham.
The motion passed unanimously.

ORDINANCES:

(a) Item #18-072 - ORDINANCE NO. 2018-8107 (Second Reading)

Mayor Latham requested that the City Clerk read Ordinance No. 2018-8107, by title only, whereupon Ms. Scott read the following:

“AN ORDINANCE TO AMEND AN ORDINANCE ENACTING AND ESTABLISHING A COMPREHENSIVE LAND DEVELOPMENT REGULATION AND OFFICIAL ZONING MAP FOR THE INCORPORATED AREA OF THE CITY OF JACKSONVILLE BEACH, FLORIDA, AS AUTHORIZED BY CHAPTER 163.3202, FLORIDA STATUTES, BY AMENDING ARTICLE VIII, DIVISION 5, SECTION 34-467. FLOOD HAZARD AREAS TO REVISE CROSS REFERENCES WITHIN SECTION 34-467, TO UPDATE REFERENCES TO THE FLORIDA BUILDING CODE, AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE. (This ordinance revises cross-references in the code. It does not change the content.)”

Motion: It was moved by Ms. Wilson and seconded by Ms. Hoffman, to adopt Ordinance No. 2018-8107, amending Section 34-467, *Flood Hazard Area* of the City's Land Development Code, to revise cross-references with Section 34-467 - *Flood Hazard Area*, and to update references therein to the Florida Building Code.

Summary: Mr. Forbes reviewed, as discussed at the last meeting, the State has requested the City provide internal cross-references and eliminate accompanying cross-reference tables to be consistent with our City Code and not the State Code. Mr. Forbes stated there is only one content change which is a change in the State Building Code.

Discussion: There was no discussion.

Roll call vote: Ayes – Buck, Doherty, Hoffman, Thomason, Vogelsang, Wilson and Mayor Latham.
The motion passed unanimously.

(b) Item #18-073 - ORDINANCE NO. 2018-8106 (Second Reading)

Mayor Latham requested that the City Clerk read Ordinance No. 2018-8106, by title only, whereupon Ms. Scott read the following:

“AN ORDINANCE AMENDING CHAPTER 18 "NOISE," OF THE CODE OF ORDINANCES OF THE CITY OF JACKSONVILLE BEACH, FLORIDA, BY AMENDING SECTION 18-7 "LOW VOLUME OUTDOOR AMPLIFIED AND ACOUSTIC SOUND," PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT WITH THIS ORDINANCE; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE AND FOR OTHER PURPOSES. (This ordinance repeals the sunset date for low volume noise. It allows the City to provide low volume noise permits to qualifying businesses.)”

Motion: It was moved by Ms. Wilson, and seconded by Ms. Hoffman, to adopt Ordinance 2018-8106, amending Chapter 18, Section 18-7, "Low Volume Outdoor Amplified and Acoustic Sound."

Summary: Mr. Forbes reviewed, as discussed at the last meeting, this was a pilot project since June 5, 2017, for licensed establishments to get a permit for low-volume outdoor sound. There have not been any noise complaint issues, and it is recommended to adopt this Ordinance, which removes the sunset date of June 5, 2018, and changes the permit renewal date from December 31st to September 30th, annually.

Discussion: There was no discussion.

Roll call vote: Ayes – Doherty, Hoffman, Thomason, Vogelsang, Wilson, Buck, and Mayor Latham.
The motion passed unanimously.

ADJOURNMENT:

There being no further business, the meeting adjourned at 7:45 P.M.

Submitted by: Laurie Scott
City Clerk

Approval:

William C. Latham, MAYOR

Date: _____

LS/njp

March 19, 2018

The Honorable Charlie Latham, Mayor
City of Jacksonville Beach
11 North 3rd Street
Jacksonville Beach, FL 32250

Dear Mayor Latham:

The North Florida TPO is developing the ***Transportation Improvement Program (TIP) for Fiscal Years 2018/2019 through 2022/2023***. The TIP identifies all publicly funded highway, transit and aviation projects within the North Florida TPO area which includes Clay, Duval, Nassau and St. Johns Counties

To increase public involvement in developing the TIP and to inform the Jacksonville Beach City Council as to the projects planned and programmed for the area, Denise Bunnewith would like to make a brief presentation at your May 7 meeting. The presentation should take no more than 10 minutes and she will gladly answer any questions.

We look forward to meeting with you.

Sincerely,



Wanda Forrest
Transportation Planning Manager

NORTH FLORIDA TPO

Transportation Improvement
Program FY 2018/19 - 2022/23

Beaches TIP Supplement



Phase	Fund Source	2018/19	2019/20	2020/21	2021/22	2022/23	Total
ATLANTIC BLVD (SR 10) @ SAN PABLO RD (CR101A) - 4343981							*Non-SIS*
TRAFFIC SIGNAL UPDATE							Length: .007
Responsible Agency: FDOT							
PE	DDR	125,613	0	0	0	0	125,613
CST	DIH	0	0	0	10,457	0	10,457
CST	DDR	0	0	0	909,225	0	909,225
Total		125,613	0	0	919,682	0	1,045,295
<i>Prior Cost < 2018/19</i>		<i>369</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>1,045,664</i>

ATLANTIC BLVD (SR 10) EB @ SAN PABLO RIVER (ICWW)BRIDGE#720044 - 4338411							*Non-SIS*
BRIDGE-REPAIR/REHABILITATION							Length: .445 MI
Responsible Agency: FDOT							
CST	DIH	0	0	0	53,808	0	53,808
CST	BRRP	0	0	0	3,952,935	0	3,952,935
Total		0	0	0	4,006,743	0	4,006,743
<i>Prior Cost < 2018/19</i>		<i>123,928</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>4,130,671</i>

SR A1A (3RD ST) FROM SEAGATE AVE TO BEACH BLVD - 4360771							*Non-SIS*
DRAINAGE IMPROVEMENTS							Length: 1.355
Responsible Agency: FDOT							
ROW	DS	75,000	0	0	0	0	75,000
Total		75,000	0	0	0	0	75,000
<i>Prior Cost < 2018/19</i>		<i>34,586,261</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>34,661,261</i>

Phase	Fund Source	2018/19	2019/20	2020/21	2021/22	2022/23	Total
SR A1A / SR 116 / MT PLEASANT RD FROM FT CAROLINE NAT MEMORIAL TO KINGSLEY PLANTATION - 4418611							*SIS*
BIKE PATH/TRAIL							Length: 10.107
Responsible Agency: FDOT							
PDE	PLH	1,000,000	0	0	0	0	1,000,000
Total		1,000,000	0	0	0	0	1,000,000
<i>Prior Cost < 2018/19</i>		<i>0</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>1,000,000</i>
SR A1A TIMUCUAN TRAIL FROM BIG TALBOT ISLAND TO LITTLE TALBOT ISLAND - 4356191							*Non-SIS*
BIKE PATH/TRAIL							Length: 1.505
Responsible Agency: FDOT							
CST	DIH	0	10,550	0	0	0	10,550
CST	TLWR	0	1,410,151	0	0	0	1,410,151
Total		0	1,420,701	0	0	0	1,420,701
<i>Prior Cost < 2018/19</i>		<i>380,017</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>1,800,718</i>
SR A1A/SR 10/ATLANTIC BLVD/3RD ST FROM 2ND AVE NORTH TO BAY ST - 4411941							*Non-SIS*
PEDESTRIAN SAFETY IMPROVEMENT							Length: 1.793
Responsible Agency: FDOT							
PE	HSID	155,244	0	0	0	0	155,244
CST	HSP	0	0	1,123,548	0	0	1,123,548
Total		155,244	0	1,123,548	0	0	1,278,792
<i>Prior Cost < 2018/19</i>		<i>0</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>1,278,792</i>

Phase	Fund Source	2018/19	2019/20	2020/21	2021/22	2022/23	Total
WONDERWOOD DR (SR 116) FROM WOMPI DR TO E OF ICWW BRIDGE - 4287963							*SIS*
DRAINAGE IMPROVEMENTS							Length: 6.068
Responsible Agency: FDOT							
PE	DIH	50,000	0	0	0	0	50,000
PE	DDR	1,200,000	0	0	0	0	1,200,000
PE	LF	0	0	0	200,056	0	200,056
RRU	LF	0	0	0	0	1,000,056	1,000,056
CST	LF	0	0	0	0	114,164	114,164
CST	DIH	0	0	0	0	11,410	11,410
CST	DDR	0	0	0	0	10,767,302	10,767,302
Total		1,250,000	0	0	200,056	11,892,932	13,342,988
<i>Prior Cost < 2018/19</i>		<i>0</i>	<i>Future Cost > 2022/23</i>		<i>17,610</i>	<i>Total Project Cost</i>	<i>13,360,598</i>

WONDERWOOD DRIVE (SR 116) FROM SANDCASTLE LANE TO MAYPORT ROAD (SR 101) - 4361751							*SIS*
RESURFACING							Length: 1.136
Responsible Agency: FDOT							
CST	SA	51,400	0	0	0	0	51,400
Total		51,400	0	0	0	0	51,400
<i>Prior Cost < 2018/19</i>		<i>2,058,474</i>	<i>Future Cost > 2022/23</i>		<i>0</i>	<i>Total Project Cost</i>	<i>2,109,874</i>

APPENDIX I

Abbreviations & Acronyms

ABBREVIATIONS AND FUNDING SOURCES

AGENCIES

FAA	Federal Aviation Administration
FHWA	Federal Highway Administration
FTA	Federal Transit Administration
JAA	Jacksonville Aviation Authority
JTA	Jacksonville Transportation Authority
SA/STJAA	St. Augustine/St. Johns County Airport Authority

PROJECT PHASES

ADM	Administration
CAP	Capital
CST	Construction
DSB	Design Build
ENV	Environmental
INC	Contract Incentives
LAR	Local Advance Reimbursement

MNT	Bridge/Roadway/Contract Maintenance
MSC	Miscellaneous
OPS	Operations
PD&E	Project, Development & Environment Study
PE	Preliminary Engineering
PLN	Planning
ROW	Right-of-Way Acquisition
RPY	Repayments
RRU	Railroad/Utilities

FUNDING SOURCES

ACBR	Advance Construction (BRT) – Federal Bridge Replacement
ACBZ	Advance Construction (BRTZ)
ACER	Advance Construction (ER)
ACCM	Advance Construction (CM)
ACEN	Advance Construction Equity Bonus National Highway
ACF0	Advance Construction for High Priority
ACIM	Advanced Construction Interstate
ACNP	Advance Construction (NHPP)

ACSA	Advanced Construction Transportation Management Areas
ACSB	Advance Construction for SABR STP Bridges
ACSE	Advanced Construction Enhancement
ACSH	Advanced Construction Hazard Elimination
ACSL	Advance Construction (SL)
ACSS	Advanced Construction Safety
ACSU	Advance Construction (SU)
BNBR	State Bonds (Statewide Bridges)
BNDS	Bond funding State
BNIR	Interstate R/W and Bridge Bonds
BRAC	Bridge Replacement
BRP	State Bridge Replacement
BRRP	State Bridge Repair and Rehabilitation
BZAC	Federal Bridge Replacement - Off System
CIGP	County Incentive Grant Program
CM	Congestion Mitigation
D	Unrestricted State Primary
DDR	District Dedicated Revenue (Gas Tax effective January 1, 1991)

DEM	Environmental Mitigation
DDRF	District Dedicated Matching Revenue Funds
DI	Statewide Inter/Intrastate Highways
DIH	State In-House Product Support
DIS	Strategic Intermodal System
DITS	District Intelligent Transportation Systems
DPTO	District Public Transportation Office
DS	State Primary Highways and PTO
DSBJ	I-295 Express Lanes – Capital
DU	State Primary/Federal Reimb
DWS	Weight Stations – State 100%
EB	Equity Bonus
EBNH	Equity Bonus - National Highway
FAA	Federal Aviation Administration
FTA	Federal Transit Administration
FTAT	FHWA Transfer to FTA (NON-BUD)
GMR	General Revenue for Strategic Intermodal System
GRSC	Growth Management of SCOP
HPP	High Priority Projects

HRRR	High Risk Rural Road
HSP	Highway Safety Program
IMAC	Interstate Maintenance
IMD	Interstate Maintenance Discrete
JAA	Jacksonville Airport Authority
LF	Local Funds
LFB	Local Funds Budget
LFP	Local Funds for Participating
LFR	Local Funds/Reimbursable
LFRF	Local Funds/Reimbursable - Future
LOGT	Local Option Gas Tax
MG	Minimum Guarantee
NFPD	National Freight PGM-Discretionary
NHAC	National Highway System
NHBR	National Highway Bridges
NHPP	IM, Bridge Repl, Natnl Hwy-MAP 21
NHRE	Nat. Hwy. Perform – Resurfacing
NSWR	2015 SB2514A-New Starts Transt

PKBD	Turnpike Master Bond Fund
PKYI	Turnpike Improvement
PLH	Public Lands Highway
PLHD	Public Lands Highway Discretionary
PORT	Seaports
RHH	Rail Highway Crossings - Hazard
RHP	Rail-Highway Safety Crossings – Prot. Dev.
SA	Transportation Management Areas
SCED	2012 SB1998-Small County Outreach
SCOP	Small County Outreach Program
SCRA	Small County Resurfacing
SIWR	2015 SB2514A-Strategic INT SYS
SE	Transportation Enhancement Activities related to any Surface Transportation Program
SH	Hazard Elimination
SIBG	SIB funds – Growth Management
SIB1	State Infrastructure Bank
SL	STP Areas <=200K
SN	STP, Mandatory Non-Urban <=5K
SR	Surface Transportation Program (STP) Railroad Hazard Elimination

SR2T	Safe Routes - Transfer
SS	Any safety improvement eligible under the Section 130 Railway-Highway Crossings Program and the Section 152 Hazard Elimination Program (allocated by statutory formula)
STED	2012 SB1998-Strategic Econ Cor
STP	Surface Transportation Program
SU, XU	Surface Transportation Program (STP) in urban areas with a population of over 200,000
TALT	Transportation Alts – Any Area
TALU	Transportation Alts - >200K
TDTF	Transportation Disadvantaged Trust Fund (80% Federal/20% State)
TLWR	Suntrail
TMBJ	I-95 Express Lanes – Maintenance
TOBJ	I-95 Expressway Lanes - Operating
TMA	Transportation Management Areas - Areas with a population of over 200,000
TRIP	Transportation Regional Incentive Program
TRWR	TRIP Wheels on Road
XA	Surface Transportation Program (STP) in any urban areas.
XU, SU	Surface Transportation Program (STP) in urban areas > 200k



City of
Jacksonville Beach
Fire Department
325 2nd Avenue South
Jacksonville Beach
FL 32250
Phone: 904.247.6201
Fax: 904.247.6155

www.jacksonvillebeach.org

MEMORANDUM

TO: George D. Forbes, City Manager
FROM: David L. Whitmill, Fire Chief
SUBJECT: Sale of Central States Pumper (Squad 13)
DATE: April 18, 2018

ACTION REQUESTED

Approve the sale of Squad 13, a 2000 Central States/Freightliner Commercial Pumper, to Palmetto Fire Apparatus for the sum of \$20,500.00.

BACKGROUND

Squad 13 is a 2000 Central States/Freightliner Commercial Chassis Pumper that has been in front-line service for 17 years. Squad 13 has over 91,000 miles, limited seating capacity, and is beginning to need extensive repairs. This vehicle was slated for replacement in our current budget. The new replacement vehicle was approved by council in December 2017 and has been ordered with a delivery date of December 2018.

Palmetto Fire Apparatus out of Ridgeland, South Carolina, has agreed to purchase Squad 13 from the City of Jacksonville Beach for the sum of \$20,500.00. The sale will occur in December 2018, when the new replacement vehicle is delivered to The Jacksonville Beach Fire Department.

Brindlee Mountain Fire Apparatus declined to make an offer and Rosenbauer Fire Apparatus offered a \$5,000.00 trade-in value.

RECOMMENDATION

Approve the sale of Squad 13, a 2000 Central States/Freightliner Commercial Pumper, to Palmetto Fire Apparatus as outlined in the memo by Chief David Whitmill dated April 18, 2018.





APPARATUS PURCHASE AGREEMENT

2000 Central States /Freightliner 2 Door Pumper Fire Vehicle

THIS AGREEMENT, made on the ___ day of April, 2018 by Jacksonville Beach Fire Department of Jacksonville Beach, FL (the "Department") and between Palmetto Fire Apparatus Holdings, LLC, a South Carolina limited liability company (the "Company") located at 442 Browns Cove Road, Ridgeland, South Carolina 29936, for the purchase/sale of one 2000 Central States /Freightliner 2 Door Pumper. The parties represent and agree as follows:

1. The Department is the current owner of one 2000 Central States /Freightliner pumper, VIN # IFVABTAK61HG76379 (the "Apparatus"), a 2 door fire apparatus that is in operable condition and has current inspection and pump certification.
2. The Department intends to keep the Apparatus in service in a reserve status until such time that it takes delivery of a new pumper. The Department anticipates that the Apparatus will be removed from service in December 2018.
3. Palmetto Fire Apparatus agrees to purchase the Apparatus from the Department for a sum of twenty thousand five hundred dollars and no cents (\$20,500.00). The funds will be wired to the Department's account upon receipt of good and clean title for the Apparatus and release of the vehicle to the Company. This will constitute the Purchase Date. The Company understands that the Department may need the proceeds of the sale of the Apparatus to pay for their new vehicle and will work with the Department to coordinate a mutually agreeable Purchase Date.
4. The Department agrees to continue to maintain the Apparatus according to the manufacturer's and NFPA recommendations, as well as any required annual inspections. The Department agrees to provide certification of acceptable NFPA pump test on the Apparatus within 6 months of the Purchase Date.
5. Palmetto Fire Apparatus reserves the right for a final inspection of the vehicle prior to the Purchase Date, with the expectation that the vehicle will be in a condition substantially similar to its current condition. The truck and fire pump must be in good and operable condition on the Purchase Date.
6. The Apparatus will be delivered with hard suction but without equipment. Any available service records, repair history and original manuals will be delivered with the Apparatus. The Company will not be liable for any equipment left on the vehicle after the removal of the Apparatus from the Department's station.
7. The Company agrees to remove the Apparatus from the Department's location within 15 days of the Purchase Date.
8. This document shall be construed under and in accordance with the laws of the State of South Carolina.

PALMETTO FIRE

SALES

SERVICE



APPARATUS

- 9. This agreement shall be binding on and inure to the benefit of the parties and their respective heirs, executors, administrators, legal representatives, successors and assigns.
- 10. In case any one or more of the provisions contained in this agreement shall for any reason be held invalid, illegal, or unenforceable in any respect, the invalidity, illegality, or unenforceability shall not affect any other provision. This agreement shall be construed as if the invalid, illegal or unenforceable provision had never been contained in it.
- 11. This agreement shall be acted upon by the legal governing body of the Owner at a regular scheduled meeting of the body. The enactment to approve this agreement shall be recorded in the minutes of the body.

IN WITNESS THEREOF, the said parties have caused these presents to be executed and have caused their title to be affixed, and attested by their authorized representatives on the ___ day of April, 2018.

THE DEPARTMENT:

THE COMPANY:

Jacksonville Beach Fire Department

Palmetto Fire Apparatus Holdings, LLC

By: _____

By: *Christopher Bama*

Its: _____

Title: President

JACKSONVILLE BEACH

City of

Jacksonville Beach

Operations &

Maintenance Facility

Department of Public

Works

1460-A Shetter Avenue

Jacksonville Beach

FL 32250

Phone: 904.247.6219

Fax: 904.247.6117

www.jacksonvillebeach.org

April 23, 2018

TO: George D. Forbes, City Manager**FROM:** Ty Edwards, Public Works**SUBJECT:** Award Bid No. 1718-14, Sludge Hauling Services for 36 Months**ACTION REQUESTED:**

Award Bid No. 1718-14, "Sludge Hauling Services for 36 Months", to *Merrell Brothers, Inc.*, the lowest, qualified bidder.

BACKGROUND:

As part of the wastewater treatment process, residual sludge is produced. The sludge is dewatered and then loaded into a large trailer. Once the trailer is full, it is hauled to the county's Trail Ridge Landfill, which is about a fifty (50) mile one-way trip where the dry sludge is disposed. The trailer and the sludge hauling services are provided under a continuous service contract. The current contract term is ending.

The City issued requests for bids and four proposals were received.

Vendor	<u>Unit Price</u>	<u>Extended Price</u>
Merrell Bros., Inc.	\$497.43	\$79,588.80
SWS Environmental Services	\$570.00	\$91,200.00
H&H Liquid Sludge Disposal, Inc.	\$804.60	\$128,736.00
Biosolids Distribution Services, LLC.	\$894.00	\$143,040.00

- The Extended Price is based on an estimated 160 loads hauled per year.
- The bid specification states: "The resulting unit price contract for continuous services for three (3) years may be extended for additional terms, from one (1) through three (3) years in length each, for a total contract length not to exceed six (6) years. Extension terms are subject to mutual consent of the CITY and the CONTRACTOR."
- The specification includes:
 - 1) A Fuel Surcharge Adjustment that may be reviewed at 6-month intervals during the contract, and
 - 2) A Unit Price per Load Adjustment based on CPI change that may be applied during one (1) extension of the contract.



It is recommended that the City Council award Bid No. 1718-14, "Sludge Hauling Services for 36 Months" to the lowest, qualified bidder, *Merrell Brothers, Inc.* and authorize the City Manager to extend the contract for up to an additional three (3) years for a total contract length not to exceed six (6) years.

RECOMMENDATION:

Award Bid Number 1718-14, titled "Sludge Hauling Services for 36 Months" to *Merrell Brothers, Incorporated*, as explained in the memorandum from the Public Works Director dated April 23, 2018.

Sludge Collection Site
at Belt Press, Wastewater Treatment Plant
910 South 10th Street, Jacksonville Beach, FL 32250

**Tractor
(Yard Dog)**

**Trailer
(30 Cubic Yard)**



Estimated Distance

From: Sludge Collection Site
To: Sludge Disposal Site

One way is approximately 45 miles.
Round trip is approximately 90 miles.

mapquest 

Trip to:

Trail Ridge Landfill Inc
5110 US Highway 301 S

Jacksonville, FL 32234

(904) 289-9100

44.97 miles / 52 minutes

Notes

From:
Watewater Treatment Plant,
910 South 10th Street
Jacksonville Beach, FL 32250



City of

Jacksonville Beach

City Hall

11 North Third Street

Jacksonville Beach

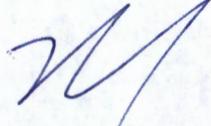
FL 32250

Phone: 904.247.6231

Fax: 904.247.6107

MEMORANDUM

To: George D. Forbes, City Manager

From: William C. Mann, Planning and Development Director 

Re: **Ordinance No. 2018-8108**, amending *RD* Rezoning Ordinance No. 2008-7951 governing the property located at the southeast corner of Beach Boulevard and South 3rd Street, by providing a new project narrative and site plan for a new proposed hotel use. (*Element* Hotel)

Date: May 1, 2018

ACTION REQUESTED:

Ordinance No. 2018-8108, amending *RD* Rezoning Ordinance No. 2008-7951 governing the property located at the southeast corner of Beach Boulevard and South 3rd Street, by providing a new project narrative and site plan for a new proposed hotel use. (*Element* Hotel)

BACKGROUND:

The subject property is located on the southeast corner of Beach Boulevard and A1A / 3rd Street South, and is currently vacant. The site was most recently used as a construction laydown area for a City infrastructure project between Beach Blvd and 4th Avenue South. That project is nearly complete.

In 2004, the applicant applied to rezone the subject property to *Redevelopment District: RD* zoning in order to construct a five-story office and retail center. That project was never developed, and in 2008, the applicant applied to amend the 2004 *RD* zoning to develop a hotel project. The hotel was also never constructed due to the downturn in the economy.

The actual amendment to the existing *RD* ordinance consists of the approval of a new project narrative and site plan for a proposed *Element* Hotel. The hotel would consist of a footprint of 10,236 square feet, three stories in height (35 feet), and have a maximum of 81 hotel rooms with a mix of open and covered ground level parking. Vehicular access to the property will be from 2nd Street only. The applicant also proposes to share use of the existing alley on the south side of the property with the adjacent property, *McDonalds*. The hotel would also have limited food service and other guest amenities. The anticipated construction start date is



October 2018. The proposed site plan provided with the application shows the building footprint and required parking. The proposed hotel project is consistent with the City's Comprehensive Plan and Land Development Code, and furthers the objectives of the Downtown Community Redevelopment Plan.

As with the currently approved RD ordinance governing the subject property, the City is retaining the right to request that the property owner deed over to the City a small triangular piece of land at the northwest corner of the property to accommodate a public sidewalk at that corner of the Beach Boulevard and 3rd Street intersection.

Adjacent uses include *McDonalds* to the south, the parking lot for Joe's Crab Shack to the east, *Walgreens* to the north and a commercial center to the west across 3rd Street. Redevelopment of the subject property as proposed in the RD zoning amendment application would have a positive impact on adjacent properties, and on the visual character of the surrounding area and the "entrance" to the City's downtown.

The Planning Commission met to consider the proposed *Redevelopment District: RD* zoning amendment on April 23, 2018, and voted unanimously to recommend approval of the amendment to the City Council.

The Community Redevelopment Agency subsequently met to consider the amendment on April 30, 2018, and also voted to recommend its approval by council.

RECOMMENDATION:

Adopt Ordinance No. 2018-8108, governing the property located at the southeast corner of Beach Boulevard and South 3rd Street, by providing a new project narrative and site plan for a proposed hotel use. (*Element Hotel*)

Introduced by: _____
1st Reading: _____
2nd Reading: _____

ORDINANCE NO. 2018-8108

AN ORDINANCE TO AMEND REDEVELOPMENT DISTRICT: RD ORDINANCE NUMBER 2008-7951, SUPPLEMENTING THE COMPREHENSIVE ZONING REGULATIONS AND ZONING ATLAS FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, AS PROVIDED UNDER CHAPTER 34 OF THE CODE OF ORDINANCES OF SAID CITY.

WHEREAS, the City Council of the City of Jacksonville Beach, Florida, heretofore enacted and established a Land Development Code and Zoning Atlas for said City; and

WHEREAS, the City Council approved the rezoning of certain lands in the City from *Redevelopment District: RD* to *Redevelopment District: RD* on April 21, 2008 via Ordinance No. 2008-7951, for a hotel project; and

WHEREAS, the owners of property described herein have applied to the City Council to amend the RD Narrative approved via Ordinance No. 2008-7951, to update the project narrative and preliminary site plan for a proposed hotel use; and

WHEREAS, the City Council has considered the application, all relevant support materials, the staff report, the recommendation of the Planning Commission, and Community Redevelopment Agency and public testimony given at the public hearings.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF JACKSONVILLE BEACH, FLORIDA:

SECTION 1. That Section 1, Paragraphs A through D of Ordinance No. 2008-7951 are hereby amended, and as amended in ~~Strike through deletion~~/Underlined addition format, shall henceforth read as follows:

- A. The rezoning application and attached project narrative dated ~~February 19, 2008~~, March 12, 2018 and attached hereto as Exhibit A, and Preliminary Site Plan and Building Elevation sheets dated March 12, 2018 and attached hereto as Exhibit B, which have been submitted to the City of Jacksonville Beach Planning and Development Department, are hereby adopted and incorporated as a part of this amendment to the Jacksonville Beach Land Development Code and Zoning Atlas.
- B. The project shall be generally carried out in accordance with the presentments of the rezoning application, project narrative and preliminary development plan, and shall also be subject to the following conditions:

1. Maximum building height - 35'
2. Parking - a minimum of ~~107~~ garage one parking space per hotel room, including the provision of parking for disabled persons pursuant to Land Development Code Section 34-378.
3. Permitted uses - Use of the subject property shall be limited to the permitted uses of the *Central Business District: CBD* district, pursuant to Land Development Code (LDC) Sec. 34-345(b), including, but not limited to, ~~a 80-room~~ a maximum 81-room hotel with restaurant kitchen and dining areas, retail, office and meeting space.
4. Prohibited uses– The following uses shall be prohibited within the subject property:
 - a. Automotive rental and leasing
 - b. Motion Picture theaters.
 - c. Amusement and recreation service establishments.
 - d. Those uses specifically prohibited within *Redevelopment District: RD* zoning districts pursuant to Land Development Code Sec. 34-347(c)(3)i.2.ii.

C. Notwithstanding Land Development Code Sec. 34-345(d), outdoor restaurant seating shall be a permitted accessory use of the subject property, subject to the applicable standards of LDC Sec. 34-407.

D. If requested by the City, the applicant shall convey by deed to the City of Jacksonville Beach a triangular piece of land located within, and no larger than, the required sight visibility triangle at the northwest corner of the subject property of sufficient size to accommodate a public sidewalk at the intersection of State Road A-1-A and Beach Boulevard.

SECTION 2. All ordinances or parts of ordinances in conflict herewith be and the same are, to the extent the same may in conflict, hereby repealed.

SECTION 3. This ordinance shall take effect upon its adoption and recordation with the Clerk of Circuit Court, Duval County, Florida.

AUTHENTICATED THIS _____ DAY OF _____, 2018.

William C. Latham, MAYOR

Laurie Scott, CITY CLERK



REZONING/TEXT AMENDMENT APPLICATION

PC No. 9-18

AS/400# 18-100050

This form is intended for use by persons applying for a change in the text of the Land Development Code or the boundaries of a specific property or group of properties under the person or persons control. A rezoning or change to the text of the LDC is not intended to relieve a particular hardship, nor to confer special privileges or rights on any person, but to make necessary adjustments in light of changed conditions. No rezoning or text amendment to the LDC may be approved except in conformance with the Jacksonville Beach 2010 Comprehensive Plan Elements. An application for a rezoning or text amendment to the LDC shall include the information and attachments listed below, unless the requirement for any particular item is waived by the Planning and Development Director. All applications shall include a \$1,000.00 filing fee, as required by City Ordinance.

APPLICANT INFORMATION

Land Owner's Name: Shivam Properties II, LLC Telephone: (904) 435-3535
 Mailing Address: 11 1st St. North, Jacksonville Beach, FL 32250 Fax: _____
 E-Mail: bobby@shivamproperties.com

RECEIVED

Applicant Name: same as owner Telephone: _____
 Mailing Address: _____ Fax: _____
 E-Mail: _____

PLANNING & DEVELOPMENT

NOTE: Written authorization from the land owner is required if the applicant is not the owner.

Agent Name: Goodson Nevin & Assoc. (Ed Goodson) Telephone: (904) 519-7770
 Mailing Address: 10175 Fortune Parkway, Ste 403 Fax: _____
Jacksonville, FL 32256 E-Mail: EGoodson@GoodsonNevin.com

Please provide the name, address and telephone number for any other land use, environmental, engineering, architectural, economic, or other professional consultants assisting with the application on a separate sheet of paper.

REZONING DATA

(751 3rd St.)

Street address of property and/or Real Estate Number: 175525-0000;175526-0000;175527-0000

Legal Description (attach copies of any instruments references, such as but not limited to deeds, plats, easements, covenants, and restrictions): see attached

Current Zoning Classification: RD (previous RD 09-100030) Future Land Use Map Designation: _____

TEXT AMENDMENT DATA

Current Chapter, Article, Section, Paragraph Number: _____

REQUESTED INFORMATION	Attached?	
	Yes	No
1. A copy of the relevant Duval County Property Assessment Map, showing the exact location of the land proposed for the amendment, with the boundaries clearly marked;	✓	
2. An 8½" x 11" vicinity map identifying the property proposed for amendment;	✓	
3. An aerial photograph, less than twelve (12) months old, of the land proposed for amendment, with the boundaries clearly marked;	✓	
4. For a rezoning, include a narrative description of the proposed amendment to the Zoning Map designation and an explanation of why it complies with the standards governing a rezoning the LDC.	✓	
5. For an LDC text amendment, include the current text of the Section(s) proposed to be changed and the full text of the proposed amendment. The proposed text amendment submittal must include a cover letter containing a narrative statement explaining the amendment, why it is needed and how it will comply with the goals, objectives, and policies in the Jacksonville Beach 2010 Comprehensive Plan Elements.		✓

Applicant Signature: Shaghiath Butek Date: 3/9/18



130

15

161

0

0

11

2

3rd ST N

2nd ST N

1st ST N

BOARDWALK AC

BEACH BLVD



1755270000
7 218 208

3rd ST S

2nd ST S

1st ST S

300

110

15

37

36

51

25

127

20

109

97

1st AVE S

1st AVE

120

115

107

118

104

28

111

115

113

396

111

125

117

122

126

134

123

2ND AVE S

2ND

244 240

201

222

116

104

216

205

2ND

1st ST S

222

0

P. 4 of 16

ELEMENT HOTEL APPLICANT INFORMATION

LAND OWNER:

Shivam Properties II, LLC.

11 1st St. North, Jacksonville Beach, Fl 32250

PH: 904-435-3535; Fax: 904-435-3536

APPLICANT:

Mr. Bhagirath (Bobby) Bhikha

11 1st St. North, Jacksonville Beach, Fl 32250

PH: 904-435-3535; Fax: 904-435-3536

AGENT:

Goodson Nevin & Associates Consulting Engineers, Inc.

Ed Goodson

10175 Fortune Parkway, Ste 403

Jacksonville, Fl 32256

PH: 904-519-7770

Email: EGoodson@GoodsonNevin.com

OTHER PROFESSIONAL CONSULTANTS:

ARCHITECT:

BRR Architecture, Inc.

Jacob Henley, AIA

6700 Antioch Plaza, Ste 300

Merriam, KS 66204

PH: 913-236-3437; Email: Jacob.Henley@brrarch.com

REZONING/MODIFICATION or TEXT AMENDMANET INFORMATION

1. **STREET ADDRESS: 1 A1A, Jacksonville Beach, Fl 32250**

Legal Description: Lots, 1,2,3,4, and 5, Block 3, Pablo Beach South, as recorded in Plat Bk 3, pg 28 of the current public records of Duval County.

Parcels: RE# 175525-0000 (208 Beach Blvd., Jacksonville Beach); 175526-0000 (218 Beach Blvd., Jacksonville Beach); 175527-0000 (7 3rd St, Jacksonville Beach)

2. **Copy of the relevant Duval County Property Assessment Map.**

See attached.

3. **8.5" x 11" Vicinity Map.**

See attached.

4. **An aerial photograph that is less than 12 months old of the property.**

See attached.

5. **Description of the current zoning district designation in the LDC, and the future Land Use Map designation in the comprehensive plan, f the land proposed for amendment.**

The subject property was approved in April, 2008 by Ordinance 2008-795 1 for re-zoning to "REDEVELOPMENT DISTRICT" (RD). While the same use is proposed, this submittal is based on a new hotel, thus this submittal is for approval based on the hotel product. Please see the attached site and building program elevations and plans.

6. **Narrative description of the proposed amendment to the zoning map and an explanation of why it complies with the standards governing a re-zoning in the LDC.**

The proposed project will be constructed at the S.E. corner of Third St (A1A) and Beach Blvd.

The project is consistent and satisfies all the requirements of the LDC, but due to a different hotel product from the previous hotel approved in the re-zoning to RD, this re-zoning package for the new hotel is being submitted for approval.

7. **For a LDC text amendment, include the chapter. Article section, paragraph numbering and current text of the section of sections proposed to be changed, and the full text of the proposed amendment, the proposed text amendnment submittal must include a cover letter containing narrative**

02/14/18

statement explaining the amendment, why it is needed and how it will comply with the goals, objectives and policies in the Jacksonville Beach Comprehensive Plan Elements.

This is NOT APPLICABLE.

- 8. Statement of planning objectives to be achieved by the planned redevelopment activity and its consistency with the Jacksonville Beach Community Redevelopment plan. The statement shall include a detailed description of the character of the proposed development, including information relative to the architectural features of the proposed development.**

Planning Objectives:

- **Project will provide a full service (no full restaurant) hotel in the heart of the Central Business District.**
- **Project will provide meeting space, bar, warming food service, with outdoor seating and parking.**
- **Project will provide a landmark at the most prominent intersection in Jacksonville Beach.**
- **The attractive exterior design will stimulate and encourage standards of high quality for surrounding properties.**

- 9. Description of the proposed development, including:**

- I. The number and type of dwelling units: N/A.**
- II. The approximate gross density for the residential development: N/A.**
- III. The amounts of land and building square footages for non-residential developments by type of use, including any portions to be reserved for public use:**

Property Size: 46,524 s.f.

Building Footprint: 10,236 s.f.

The total number of parking spaces shall meet the LDC code parking required and or will pay into the city parking fund if any shortage.

BUILDING OCCUPANCY: Hotel (80 rooms)

Parking: (Ground level) 80 spaces code required. Anticipated 81 spaces. (39 covered (11,257 s.f.)), (42 uncovered (18,950 s.f.))

First Floor:

- **Lobby/Public Spaces: 2,906 s.f.**
- **Kitchen / Dining: 11,667 s.f.**

PC#9-18

Second Floor:

- BOH: 1,720 s.f.
- Guest Rooms: 14, 335 s.f.

Third Floor:

- Guest Rooms: 14, 335 s.f.

IV. Calculations showing the total lot coverage for building and accessory uses:

Building Footprint: 10,236 s.f. (21.8%)

Landscaping: 3,825 s.f. (8.2%)

Sidewalk/driveway: 32,463 s.f. (70%)

Property Boundary: 46, 524 s.f. (100%)

10. A concept plan showing the location of all proposed buildings, the proposed traffic circulation system and parking facilities.

See the attached concept plan and building elevations.

11. A tentative development schedule indicating:

(a). The approximate date to when construction of the development can be anticipated to begin.

October 2018

(b). The stages in which the development will be built and the approximate date when construction on each stage can be anticipated to begin.

Stage 1	Site Preparation	October 2018
Stage 2	Foundations	November 2018
Stage 3	Vertical Construction	March 2019
Stage 4	Interior Spaces	February 2020

(C). The approximate date when each stage of the development will be completed.

2018

Stage 1	Site Preparation	November 2018
Stage 2	Foundations	December 2018
Stage 3	Vertical Construction	March 2020
Stage 4	Hotel Opening	August 2020

Consistency with Jacksonville Beach Community Redevelopment Plan:

- The comprehensive plan designation for this property is commercial-Central Business District with RD zoning. The designed project consisting of hotel/motel use, retail, meeting space, bar, office space, restaurant, and parking is consistent with this designation.
- The proposed project satisfies all requirements of the LDC but must have RD rezoning, which it obtained in 2008.
- The maximum building height is thirty-five feet (35'), which is consistent with the CBD requirement.
- The project will meet the requirements of the master retention for City and St. Johns River Water Management District criteria, as well as other local, state, and federal water, sewer, and stormwater facility regulations.
- This project will result in improved pedestrian and vehicular traffic, landscaping, and general infrastructure of the area and increased public amenities.
- The proposed project results in a logical and orderly development pattern by meeting all requirements of the LDC and the Jacksonville Beach redevelopment plan.

Character Description:

The proposed project will be constructed at the S.E. corner of A1A and Beach Blvd., the most prominent / visible site at the beaches. The building will serve as a landmark anchoring the downtown area as a business district.

The building responds to the site by stepping back alongside Beach Blvd. as the property width diminishes from west to east. This provides a landscaped buffer between the building and the sidewalk along Beach Blvd, will also having pedestrian and relaxation amenities as well.

The building is 35' in height and houses two floors of hotel units, which will also include meeting spaces. Attached are some building elevations and site plans to better visualize the project.

3/12/2018

Property Appraiser - Property Details

SHIVAM PROPERTIES II LLC
11 1ST ST N
JACKSONVILLE BEACH, FL 32250

Primary Site Address
208 BEACH BLVD
Jacksonville Beach FL 32250

Official Record Book/Page
03177-00690

PC#9-18

Tile #
9433

208 BEACH BLVD

Property Detail

RE #	175525-0000
Tax District	USD2A
Property Use	1000 Vacant Comm
# of Buildings	0
Legal Desc.	For full legal description see Land & Legal section below
Subdivision	03201 PABLO BEACH SOUTH
Total Area	9250

Value Summary

	2017 Certified	2018 In Progress
Value Method	CAMA	CAMA
Total Building Value	\$0.00	\$0.00
Extra Feature Value	\$3,299.00	\$3,063.00
Land Value (Market)	\$489,375.00	\$489,375.00
Land Value (Agric.)	\$0.00	\$0.00
Just (Market) Value	\$492,674.00	\$492,438.00
Assessed Value	\$356,457.00	\$392,102.00
Cap Diff/Portability Amt	\$136,217.00 / \$0.00	\$100,336.00 / \$0.00
Exemptions	\$0.00	See below
Taxable Value	\$356,457.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification. [Learn how the Property Appraiser's Office values property.](#)

Taxable Values and Exemptions – In Progress

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value	SJRWMD/FIND Taxable Value	School Taxable Value
No applicable exemptions	No applicable exemptions	No applicable exemptions

Sales History

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
03177-00690	12/31/1971	\$85,000.00	MS - Miscellaneous	Unqualified	Improved
03905-00887	4/3/1975	\$100.00	MS - Miscellaneous	Unqualified	Improved
05435-00828	10/13/1981	\$174,444.00	WD - Warranty Deed	Unqualified	Improved
08228-01822	10/25/1995	\$100.00	MS - Miscellaneous	Unqualified	Improved
10526-00221	5/31/2002	\$850,000.00	WD - Warranty Deed	Qualified	Improved
11296-02492	8/8/2003	\$950,000.00	WD - Warranty Deed	Qualified	Improved
11961-00557	7/24/2004	\$712,500.00	WD - Warranty Deed	Unqualified	Improved

Extra Features

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FCLC1	Fence Chain Link	0	0	0	267.00	\$3,063.00

Land & Legal

LN	Code	Use Description	Zoning	Front	Depth	Category	Land Units	Land Type	Land Value	Legal	LN	Legal Description
1	1000	COMMERCIAL	JRD	0.00	0.00	Common	10,875.00	Square Footage	\$489,375.00		1	3-28 33-25-29E .249
											2	PABLO BEACH SOUTH
											3	LOT 1 BLK 3

Buildings

No data found for this section

2017 Notice of Proposed Property Taxes Notice (TRIM Notice)

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
Gen Govt Beaches	\$356,457.00	\$0.00	\$356,457.00	\$2,641.41	\$2,905.55	\$2,756.27
Public Schools: By State Law	\$356,457.00	\$0.00	\$492,674.00	\$2,120.55	\$2,087.46	\$2,127.61
By Local Board	\$356,457.00	\$0.00	\$492,674.00	\$1,046.77	\$1,107.53	\$1,050.28
FL Inland Navigation Dist.	\$356,457.00	\$0.00	\$356,457.00	\$10.37	\$11.41	\$10.69
Jax Bch USD2A	\$356,457.00	\$0.00	\$356,457.00	\$0.00	\$0.00	\$0.00
Jax Beach	\$356,457.00	\$0.00	\$356,457.00	\$1,229.68	\$1,423.94	\$1,285.38
Water Mgmt Dist. SJRWMD	\$356,457.00	\$0.00	\$356,457.00	\$93.49	\$97.10	\$97.10
Gen Gov Voted	\$356,457.00	\$0.00	\$356,457.00	\$0.00	\$0.00	\$0.00
School Board Voted	\$356,457.00	\$0.00	\$492,674.00	\$0.00	\$0.00	\$0.00
Urban Service Dist2	\$356,457.00	\$0.00	\$356,457.00	\$0.00	\$0.00	\$0.00
Totals				\$7,142.27	\$7,632.99	\$7,327.33
	Just Value	Assessed Value	Exemptions	Taxable Value		
	Last Year \$465,646.00	\$324,052.00	\$0.00	\$324,052.00		
	Current Year \$492,674.00	\$356,457.00	\$0.00	\$356,457.00		

2017 TRIM Property Record Card (PRC)

3/12/2018

Property Appraiser - Property Details

SHIVAM PROPERTIES II LLC
11 1ST ST N
JACKSONVILLE BEACH, FL 32250

Primary Site Address
218 BEACH BLVD
Jacksonville Beach FL 32250

Official Record Book/Page
05218-00105

PC#9-18

Title #
9433

218 BEACH BLVD

Property Detail

RE #	175526-0000
Tax District	USD2A
Property Use	1000 Vacant Comm
# of Buildings	0
Legal Desc.	For full legal description see Land & Legal section below
Subdivision	03201 PABLO BEACH SOUTH
Total Area	17596

Value Summary

Value Method	2017 Certified	2018 In Progress
CAMA	CAMA	CAMA
Total Building Value	\$0.00	\$0.00
Extra Feature Value	\$3,101.00	\$2,880.00
Land Value (Market)	\$900,000.00	\$900,000.00
Land Value (Agric.)	\$0.00	\$0.00
Just (Market) Value	\$903,101.00	\$902,880.00
Assessed Value	\$650,004.00	\$715,004.00
Cap Diff/Portability Amt	\$253,097.00 / \$0.00	\$187,876.00 / \$0.00
Exemptions	\$0.00	See below
Taxable Value	\$650,004.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

Taxable Values and Exemptions – In Progress

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value	SJRWMD/FIND Taxable Value	School Taxable Value
No applicable exemptions	No applicable exemptions	No applicable exemptions

Sales History

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
05218-00105	10/1/1980	\$225,000.00	WD - Warranty Deed	Unqualified	Improved
05296-00071	3/1/1981	\$100.00	WD - Warranty Deed	Unqualified	Improved
08522-01582	12/11/1996	\$100.00	MS - Miscellaneous	Unqualified	Improved
10908-00514	1/15/2003	\$100.00	MS - Miscellaneous	Unqualified	Improved
11776-02008	4/27/2004	\$1,210,000.00	WD - Warranty Deed	Qualified	Improved

Extra Features

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FCLC1	Fence Chain Link	0	0	0	251.00	\$2,880.00

Land & Legal

Land										Legal	
LN	Code	Use Description	Zoning	Front	Depth	Category	Land Units	Land Type	Land Value	LN	Legal Description
1	1000	COMMERCIAL	JRD	0.00	0.00	Common	20,000.00	Square Footage	\$900,000.00	1	3-28 33-25-29E .459
										2	PABLO BEACH SOUTH
										3	LOTS 2,3 BLK 3

Buildings

No data found for this section

2017 Notice of Proposed Property Taxes Notice (TRIM Notice)

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
Gen Govt Beaches	\$650,004.00	\$0.00	\$650,004.00	\$4,816.65	\$5,298.31	\$5,026.09
Public Schools: By State Law	\$650,004.00	\$0.00	\$903,101.00	\$3,885.70	\$3,826.44	\$3,900.04
By Local Board	\$650,004.00	\$0.00	\$903,101.00	\$1,918.11	\$2,030.17	\$1,925.23
FL Inland Navigation Dist.	\$650,004.00	\$0.00	\$650,004.00	\$18.91	\$20.80	\$19.50
Jax Bch USD2A	\$650,004.00	\$0.00	\$650,004.00	\$0.00	\$0.00	\$0.00
Jax Beach	\$650,004.00	\$0.00	\$650,004.00	\$2,242.34	\$2,596.57	\$2,343.91
Water Mgmt Dist. SJRWMD	\$650,004.00	\$0.00	\$650,004.00	\$170.48	\$177.06	\$177.06
Gen Gov Voted	\$650,004.00	\$0.00	\$650,004.00	\$0.00	\$0.00	\$0.00
School Board Voted	\$650,004.00	\$0.00	\$903,101.00	\$0.00	\$0.00	\$0.00
Urban Service Dist2	\$650,004.00	\$0.00	\$650,004.00	\$0.00	\$0.00	\$0.00
Totals				\$13,052.19	\$13,949.35	\$13,391.83
	Just Value	Assessed Value	Exemptions	Taxable Value		
	Last Year \$853,250.00	\$590,913.00	\$0.00	\$590,913.00		
	Current Year \$903,101.00	\$650,004.00	\$0.00	\$650,004.00		

2017 TRIM Property Record Card (PRC)

This PRC reflects property details and values at the time of the original mailing of the Notices of Proposed Property Taxes (TRIM Notices) in August.

3/12/2018

Property Appraiser - Property Details

SHIVAM PROPERTIES II LLC
11 N 1ST ST
JACKSONVILLE BEACH, FL 32250

Primary Site Address
7 S 3RD ST
Jacksonville Beach FL 32250

Official Record Book/Page PC#9-18
14718-01545

Tile #
9433

7 S 3RD ST
Property Detail

RE #	175527-0000
Tax District	USD2A
Property Use	1000 Vacant Comm
# of Buildings	0
Legal Desc.	For full legal description see Land & Legal section below
Subdivision	03201 PABLO BEACH SOUTH
Total Area	15560

Value Summary

	2017 Certified	2018 In Progress
Value Method	CAMA	CAMA
Total Building Value	\$0.00	\$0.00
Extra Feature Value	\$4,300.00	\$3,992.00
Land Value (Market)	\$729,180.00	\$729,180.00
Land Value (Agric.)	\$0.00	\$0.00
Just (Market) Value	\$733,480.00	\$733,172.00
Assessed Value	\$653,595.00	\$718,954.00
Cap Diff/Portability Amt	\$79,885.00 / \$0.00	\$14,218.00 / \$0.00
Exemptions	\$0.00	See below
Taxable Value	\$653,595.00	See below

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). 'In Progress' property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification [Learn how the Property Appraiser's Office values property.](#)

Taxable Values and Exemptions – In Progress

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value	SJRWMD/FIND Taxable Value	School Taxable Value
No applicable exemptions	No applicable exemptions	No applicable exemptions

Sales History

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
14718-01545	12/1/2008	\$100.00	RW - Right of Way	Unqualified	Vacant
11975-01917	7/6/2004	\$700,000.00	WD - Warranty Deed	Qualified	Vacant
11961-00559	7/24/2004	\$100.00	SW - Special Warranty	Unqualified	Improved
09172-00027	10/1/1998	\$384,500.00	SW - Special Warranty	Unqualified	Improved
07222-00096	12/31/1988	\$1,800,909.00	WD - Warranty Deed	Unqualified	Improved
06777-00538	12/31/1988	\$1,800,909.00	WD - Warranty Deed	Unqualified	Improved
06650-00012	1/19/1989	\$100.00	QC - Quit Claim	Unqualified	Improved

Extra Features

LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FCLC1	Fence Chain Link	0	0	0	348.00	\$3,992.00

Land & Legal

Land									Legal		
LN	Code	Use Description	Zoning	Front	Depth	Category	Land Units	Land Type	Land Value	LN	Legal Description
1	1000	COMMERCIAL	JRD	0.00	0.00	Common	16,204.00	Square Footage	\$729,180.00	1	3-28 33-2S-29E .372
										2	PABLO BEACH SOUTH
										3	LOTS 4,5(EX PT R/W RECD
										4	O/R 14718-1545) BLK 3

Buildings

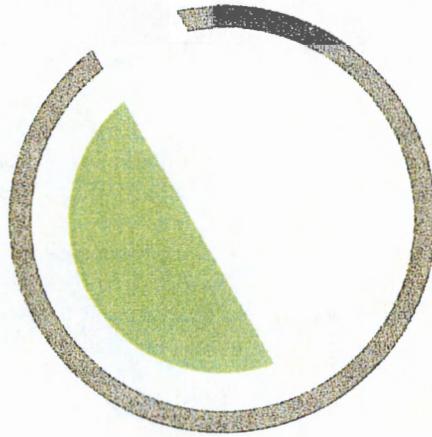
No data found for this section

2017 Notice of Proposed Property Taxes Notice (TRIM Notice)

Taxing District	Assessed Value	Exemptions	Taxable Value	Last Year	Proposed	Rolled-back
Gen Govt Beaches	\$653,595.00	\$0.00	\$653,595.00	\$4,843.26	\$5,327.58	\$5,053.86
Public Schools: By State Law	\$653,595.00	\$0.00	\$733,480.00	\$3,156.73	\$3,107.75	\$3,167.53
By Local Board	\$653,595.00	\$0.00	\$733,480.00	\$1,558.26	\$1,648.86	\$1,563.63
FL Inland Navigation Dist.	\$653,595.00	\$0.00	\$653,595.00	\$19.01	\$20.92	\$19.61
Jax Bch USD2A	\$653,595.00	\$0.00	\$653,595.00	\$0.00	\$0.00	\$0.00
Jax Beach	\$653,595.00	\$0.00	\$653,595.00	\$2,254.73	\$2,610.92	\$2,356.86
Water Mgmt Dist. SJRWMD	\$653,595.00	\$0.00	\$653,595.00	\$171.42	\$178.04	\$178.04
Gen Gov Voted	\$653,595.00	\$0.00	\$653,595.00	\$0.00	\$0.00	\$0.00
School Board Voted	\$653,595.00	\$0.00	\$733,480.00	\$0.00	\$0.00	\$0.00
Urban Service Dist2	\$653,595.00	\$0.00	\$653,595.00	\$0.00	\$0.00	\$0.00
Totals				\$12,003.41	\$12,894.07	\$12,339.53
	Just Value	Assessed Value	Exemptions	Taxable Value		
	Last Year \$693,177.00	\$594,178.00	\$0.00	\$594,178.00		
	Current Year \$733,480.00	\$653,595.00	\$0.00	\$653,595.00		

2017 TRIM Property Record Card (PRC)

TECHNICAL RESERVATION ONLY - NOT FOR CONSTRUCTION
DATE: 11/15/18
PROJECT: JACKSONVILLE BEACH
DRAWN BY: [unreadable]
CHECKED BY: [unreadable]
DATE: 11/15/18



element

INSPIRED BY WESTIN



Element by Westin
JACKSONVILLE BEACH, FL



DESIGN FOR PRESENTATION ONLY - NOT FOR CONSTRUCTION

DATE: 02/12/2019

PROJECT: ELEMENT BY WESTIN

LOCATION: JACKSONVILLE BEACH, FL

Element by Westin Overall Perspective

JACKSONVILLE BEACH, FL





DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION
 03/12/2018

Element by Westin Street Perspective
 JACKSONVILLE BEACH, FL

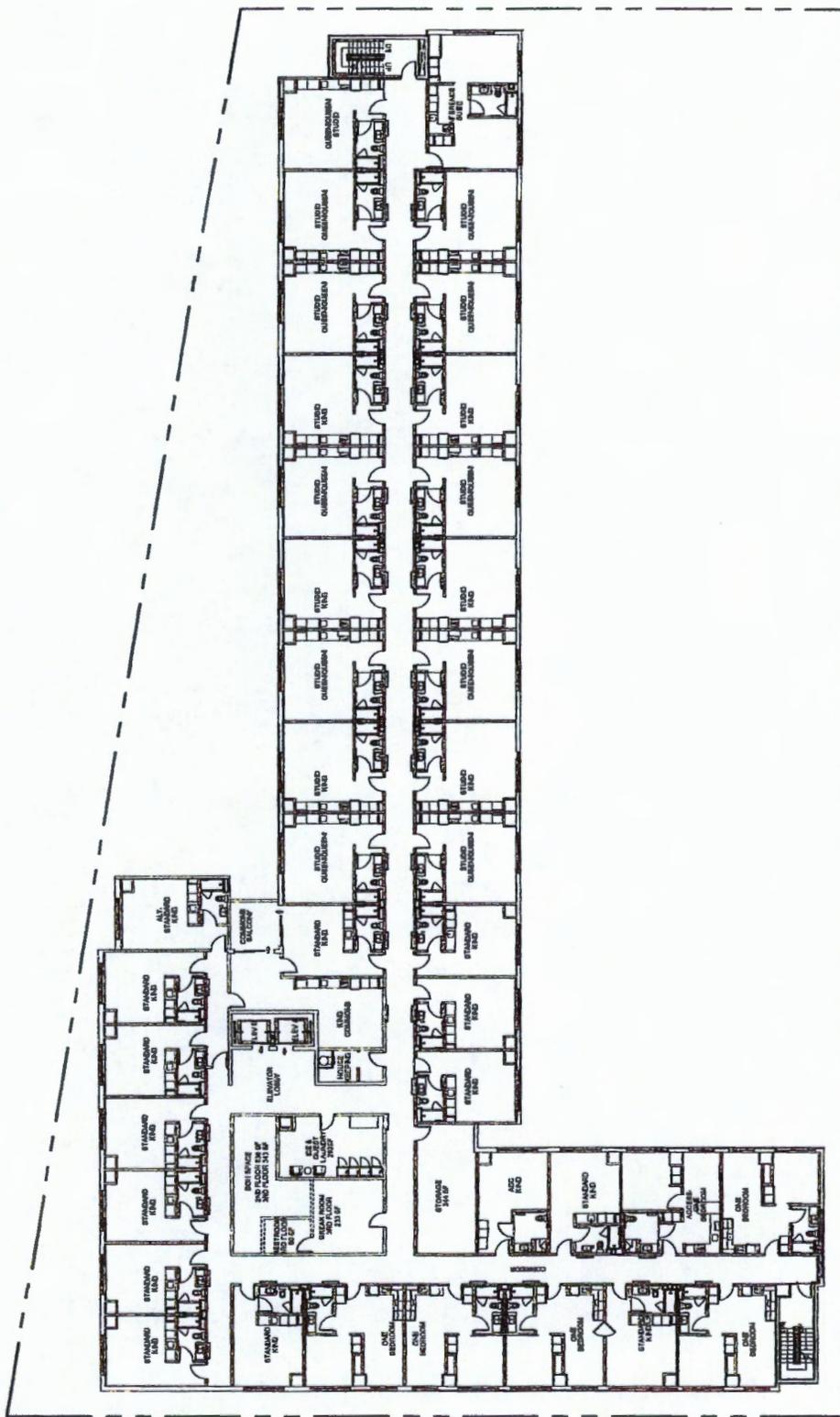




PROJECT REPRESENTATION SHEET - MODIFIED CONSTRUCTION
 03/22/2019

Element by Westin Entry Perspective
 JACKSONVILLE BEACH, FL





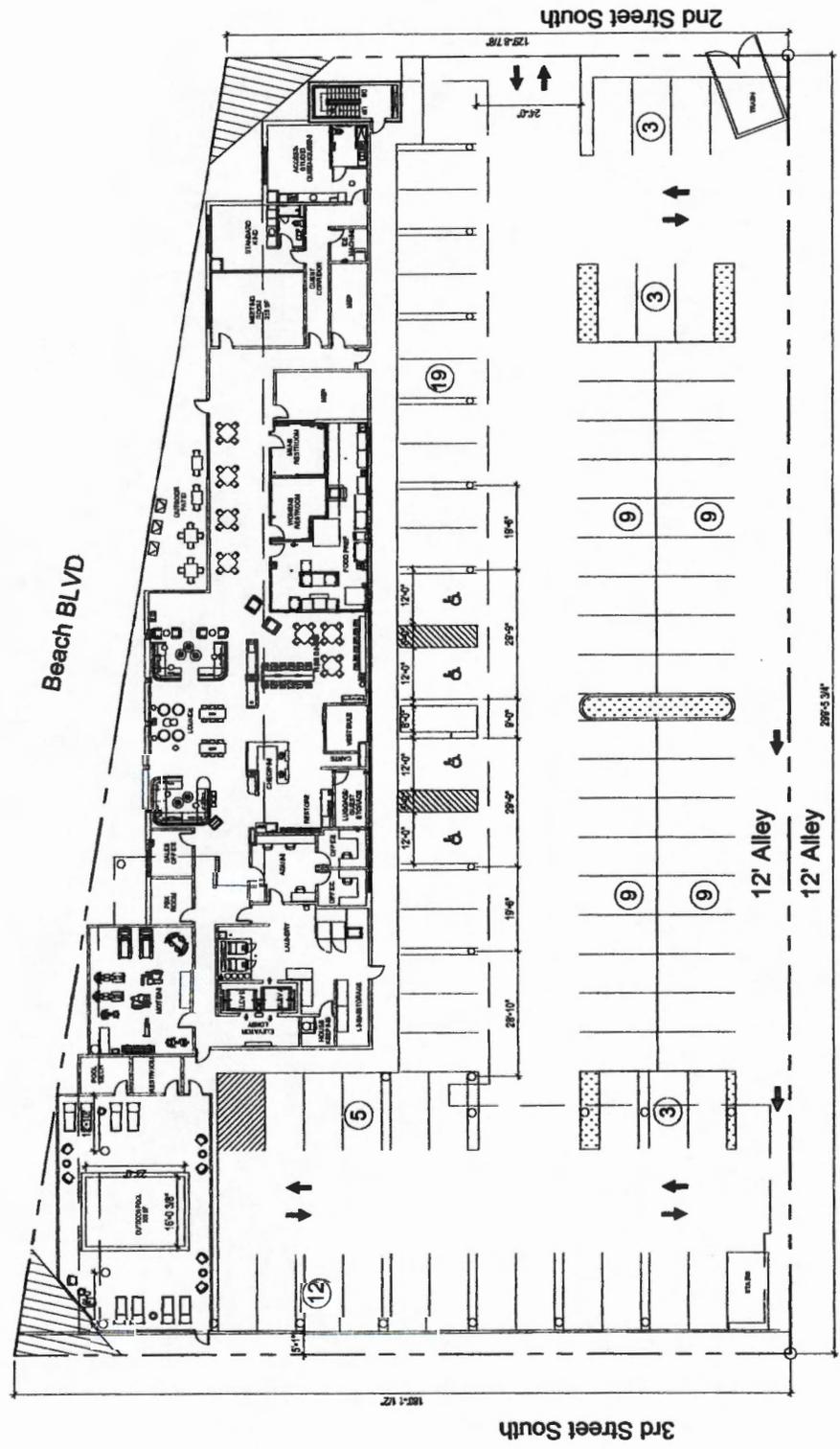
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 410 420 430 440 450 460 470 480 490 500 510 520 530 540 550 560 570 580 590 600
 610 620 630 640 650 660 670 680 690 700 710 720 730 740 750 760 770 780 790 800
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Element by Westin Typical Floor Plan

JACKSONVILLE BEACH, FL

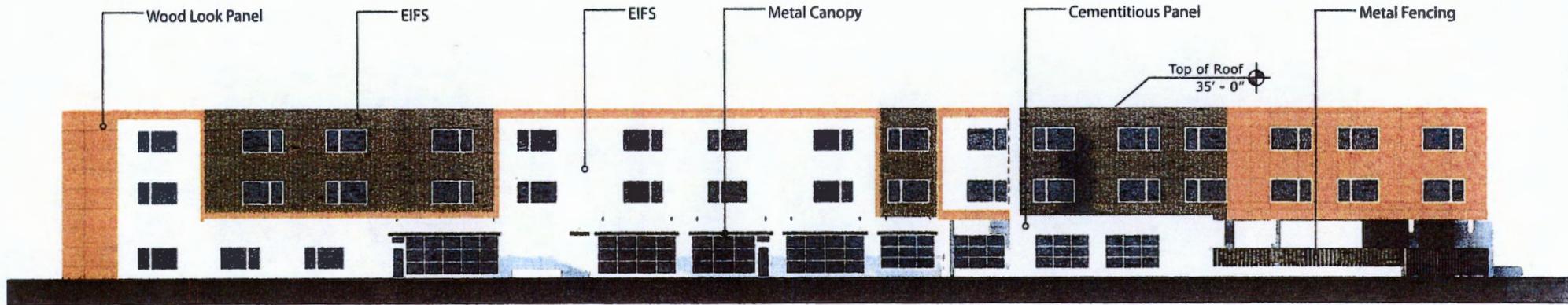


BY THE CITY ENGINEER, JACKSONVILLE, FLORIDA
DATE: 07/16/18
PROJECT: ELEMENT BY WESTIN SITE PLAN
SHEET NO. 1 OF 1

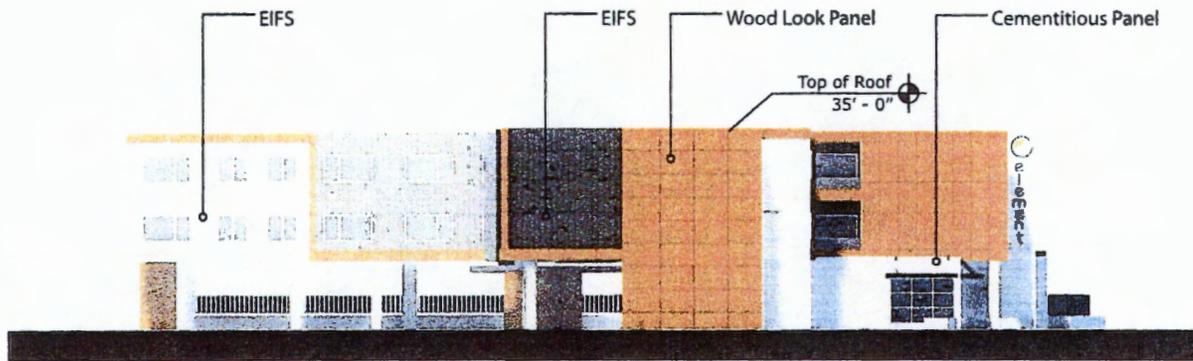


Element by Westin Site Plan
JACKSONVILLE BEACH, FL





North Elevation

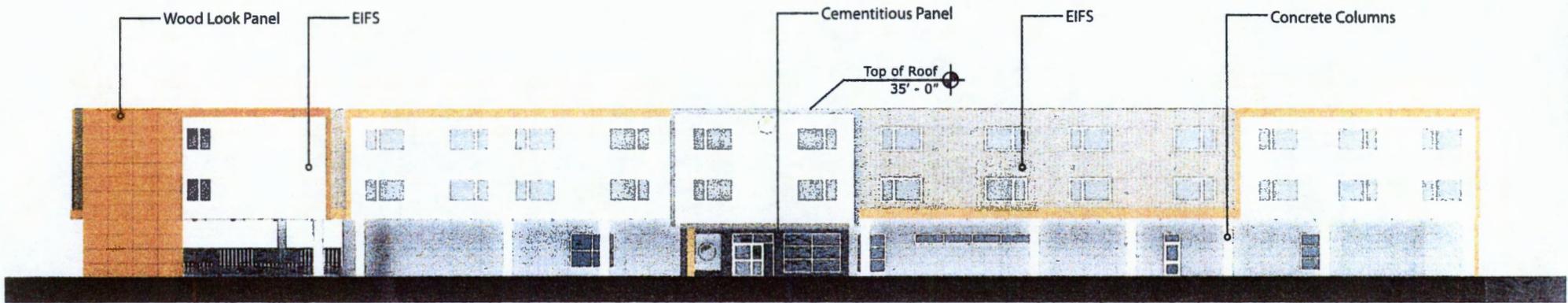


East Elevation

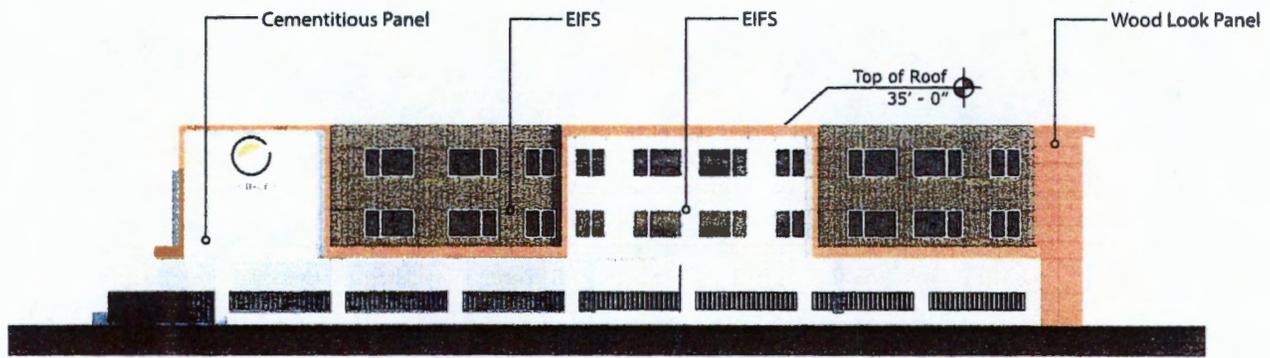


Element by Westin Elevations
 JACKSONVILLE BEACH, FL

SCALE: 1/8" = 1'-0" ARCHITECT: WESTIN HOTELS & RESORTS



South Elevation



West Elevation

brr **Element by Westin** Elevations
 JACKSONVILLE BEACH, FL

DATE: 08/14/2018 10:00 AM
 PROJECT: ELEMENT BY WESTIN
 DRAWING: ELEVATIONS

City of

Jacksonville Beach

Fire Department

325 2nd Avenue South

Jacksonville Beach

FL 32250

[P] 904.247.6201

[F] 904.247.6155

EMERGENCY DIAL 9-1-1

www.jacksonvillebeach.org

To: George Forbes, City Manager

From: David Whitmill, Fire Chief

Date: April 27, 2018

Re: Ordinance No. 2018-8109 Updating Chapter 10 of the Fire and Life Safety Code, and Adopting the 6th Edition of the Florida Fire Prevention Code

ACTION REQUESTED

Adopt Ordinance No. 2018-8109 that amends Chapter 10 of the Fire and Life Safety Code.

BACKGROUND

The Florida Fire Prevention Code was updated to the 6th edition this year by the State of Florida. The Fire Marshal has completed training on the updated version and is ready to have it updated in the City's Code of Ordinances. The new code is the "Florida Fire Prevention Code 6th Edition"

The following are notable changes in the 6th edition of the Florida Fire Prevention Code:

- Compliance for high-rise sprinkler code retrofit date has moved to 12/31/19 (was 12/31/2017).
- Standards have been set for the operation of food trucks (fire extinguishers, hood fire suppression systems, LP gas lines/tanks etc.)
- Standards addressing the safe storage, handling, and sales of fireworks (sets limits for the retail sale of fireworks, building construction requirements, fire alarm and sprinkler systems, etc. Sets limits on display size and quantity, number of required training hours for employees. *Does not change the licensing and permitting requirements*).
- Standards have been established on the use of rubberized asphalt melters during roof deck operations (extinguisher, location and operation of unit, etc.)



In addition, we have updated Chapter 10 of the Fire and Life Safety Code by eliminating obsolete provisions. These are shown in the strikeout version of the ordinance (attached).

RECOMMENDATION

Adopt Ordinance No. 2018-8109 that amends Chapter 10 of the Fire and Life Safety Code.

Introduced by: _____

First Reading: _____

Second Reading: _____

ORDINANCE NO. 2018-8109

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF JACKSONVILLE BEACH; AMENDING CHAPTER 10, FIRE AND LIFE SAFETY; ARTICLE III, FIRE PREVENTION, AND LIFE SAFETY; SEC. 10-3.03, CODES ADOPTED; TO PROVIDE REFERENCE TO THE STATE ADOPTED FLORIDA FIRE PREVENTION CODE; PROVIDING FOR UPDATES IN CHAPTER 10 BY ELIMINATING OBSOLETE PROVISIONS; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR CODIFICATION AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Jacksonville Beach wishes to bring its fire code into compliance with the current State adopted Florida Fire Prevention Codes;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JACKSONVILLE BEACH, FLORIDA:

SECTION 1. That the stated section of Chapter 10, Fire and Life Safety Code, Article III. - Fire Prevention and Life Safety, Sec. 10-3.03. of the Code of Ordinances of the City of Jacksonville Beach, Florida is amended as follows:

Sec. 10-3.03. Codes adopted.

The following model code is adopted in its entirety as an addition to the text of this article. The text of this adopted model code shall be fully enforceable as other regulations adopted under the provisions of this article as if the same were incorporated and set forth at length herein. Model codes adopted pursuant to this article shall not waive any provisions of this chapter or be less restrictive than its provisions.

(1) Florida Fire Prevention Code (FFPC) ~~5th Edition~~ 6th Edition.

a. ~~One (1) copy of the adopted model code is filed in the office of the city clerk.~~

~~(b) One (1) copy of the adopted model codes has been and is filed in the office of the city clerk.~~

SECTION 2. That the section of Chapter 10, Fire and Life Safety Code, Article III. - Fire Prevention and Life Safety, Sec. 10-3.12. Penalties and other remedies for violations, is hereby amended and shall henceforth read as follows:

Sec. 10-3.12. Penalties and other remedies for violations.

(c) The city may enforce this chapter using the proceedings set forth in Chapter 2 Administration, Article VI, ~~Codes Enforcement Board~~, of the Code of Ordinances, City of Jacksonville Beach, Florida.

SECTION 3. That the section of Chapter 10, Fire and Life Safety Code, Article III. - Fire Prevention and Life Safety, Sec. 10-3.16. Automatic fire sprinklers requirements, is hereby amended and shall henceforth read as follows:

Sec. 10-3.16. – Automatic fire sprinkler requirements

The following supplemental automatic fire sprinkler requirements are adopted for the purpose of furthering the growth management goals, objectives, and policies of the Jacksonville Beach 2010 Comprehensive Plan Elements, adopted pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act of 1985.

SECTION 4. That the section of Chapter 10, Fire and Life Safety Code, Article III. - Fire Prevention and Life Safety, Sec. 10-3.17. Building permits, is hereby amended and shall henceforth read as follows:

Sec. 10-3.17. Building permits

A permit for construction, erection, alteration, repair or demolition shall not be issued until the fire official has reviewed the plans and specifications for such proposal and the fire official has found the plans to be in compliance with this article and ~~Chapter 633, F.S.~~ latest edition of the Florida Fire Prevention Code.

SECTION 5. That the section of Chapter 10, Fire and Life Safety Code, Article III. - Fire Prevention and Life Safety, Sec. 10-3.19. Hazardous materials identification and information, is hereby amended and shall henceforth read as follows:

Sec. 10-3.19. Hazardous materials identification and information

(a) There is hereby adopted by the city for the purpose of prescribing regulations to identify hazardous materials manufacturing, storage and use facilities that certain code known as NFPA 704 "Identification of Fire Hazards of Materials," 2012 edition, of the National Fire Protection Association. ~~One (1) copy of the subject code has been and is filed in the office of the city clerk and~~ The same is hereby adopted and incorporated as fully as if set out at length herein, and from the effective date of this section the provisions of said standard shall control within the limits of the city.

~~(b) The fire official may require the installation of a weather proof box containing up to date hazardous materials safety data sheets, on the exterior of such buildings or structures that contain quantities of hazardous materials. It shall be the responsibility of the occupants storing, handling or using the hazardous materials to maintain this information as current.~~

SECTION 6. That the section of Chapter 10, Fire and Life Safety Code, Article IV. – Open Burning, Sec. 10-4.01. Open burning regulations, is hereby amended and shall read henceforth read as follows:

Sec. 10-4.01. Open burning regulations

(a) Open burning within the city limits is regulated by local ordinance in accordance with rules and regulations by ~~NFPA-1, 3-4~~, NFPA-1, 10.10.4 Florida Fire Prevention Codes (FFPC), the Air Quality ~~Division~~ Branch of the ~~Co~~ Jax/Duval County ~~Regulatory and Environmental Service Department~~ (AOD) Quality Division, and the Florida Department of Environmental Protection Agency.

(7) The fire department will be notified by the responsible party of the date and time of the requested burning to determine compliance with the guidelines and regulations. If the open burning request is approved, the fire department will notify emergency communications and ~~AOD~~ Air Quality Branch of the location, date, and time.

SECTION 7. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 8. Codification of this ordinance in the City Code of Ordinances is hereby authorized and directed.

SECTION 9. This ordinance shall take effect upon its passage and publication as required by law.

AUTHENTICATED THIS _____ DAY OF MAY, A. D., 2018

William C. Latham, MAYOR

Laurie Scott, CITY CLERK

Chapter 10 - FIRE AND LIFE SAFETY¹¹

Footnotes:

--- (1) ---

Editor's note— Ord. No. 7460, § 1, adopted May 7, 1990, amended Ch. 10 in its entirety to read as herein set out. Prior to inclusion of said ordinance, Ch. 10, §§ 10-1—10-6, pertained to similar subject matter and derived from Code 1955, §§ 10-1, 10-1.1, 10-1.2, 10-3—10-5 and subsequent amendments.

Cross reference— Old-age and survivors insurance for firemen, § 2-139 et seq.; fire districts established, § 7-18; automatic dialing of fire department prohibited, § 16-2; tax levy imposed on property insurance premiums used for pension fund for firemen, § 30-19.

State Law reference— Fire prevention and control, F.S. Ch. 633.

ARTICLE I. - IN GENERAL

Sec. 10-1.01. - Title.

The provisions of this chapter shall constitute and shall hereafter be known as "The Fire and Life Safety Code of the City of Jacksonville Beach, Florida."

(Ord. No. 7460, § 1, 5-7-90)

ARTICLE II. - FIRE DEPARTMENT

Sec. 10-2.01. - Established.

There is hereby established for the City of Jacksonville Beach a fire department whose purpose shall be to provide for the prevention and extinguishment of fires, control of hazardous conditions involving explosive, flammable or toxic fumes, vapors, liquids, gases or materials, the rescue of persons from entrapment, the provision of medical care to injured persons and related services or duties as required or directed by the city manager.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-2.02. - Organization.

- (a) The fire department shall be composed of a chief of the fire department, appointed by the city manager, and such other assistants and firefighters as the city manager may recommend and the city council shall authorize.
- (b) The chief of the fire department or his designee shall at all times be in charge of the fire department.

(Ord. No. 7460, § 1, 5-7-90)

ARTICLE III. - FIRE PREVENTION AND LIFE SAFETY

Sec. 10-3.01. - Purpose and intent.

- (a) The purpose and intent of this article is to prescribe minimum requirements and controls to safeguard life, property and the public welfare from the hazards of fire and explosion arising from the improper storage, handling and use of substances, materials or devices and from conditions

hazardous to life, property and the public welfare in the use or occupancy of buildings, structures, sheds, tents, lots or any other premises. When no specific standards or requirements are specified in this article or within other applicable laws, compliance with the standards of the National Fire Prevention Association (NFPA) or Southern Building Code Congress, International (SBCCI) or other nationally recognized fire safety standards as are approved by the fire official shall be deemed as evidence of compliance with this intent.

- (b) The provisions of this article shall apply to existing conditions as well as to conditions arising after adoption thereof. Prior to applying the requirements of this article to an existing condition, the fire official shall determine that a threat to life, safety or property exists. If such a threat exists, the fire official shall apply the appropriate provision of this article to the extent practical to assure a reasonable degree of life, safety and property protection is maintained.
- (c) The provisions of this article shall not apply to any building, area or premises within the city which is owned by the government of the United States, the State of Florida or the School Board of Duval County.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.02. - Definitions.

- (a) *Authority having jurisdiction* shall mean the fire official of the city.
- (b) *Building construction type I, II, III, IV, V or VI* shall refer to the characteristics of building construction as defined in that certain code known as the Standard Building Code referenced in Chapter 7 of the Code of Ordinances of the city.
- (c) *Complete automatic sprinkler system* shall mean a complete automatic sprinkler system as described in the nationally recognized standards, NFPA No. 13, NFPA No. 13D and NFPA No. 13R.
- (d) *Fire official* shall mean the chief of the fire department or his designee.
- (e) *Gross floor area* shall mean the floor area within the inside perimeter of the outside walls of the building under consideration with no deduction for hallways, stairs, closets, thickness of the interior walls, columns or other features.
- (f) *New additions or expansions* shall mean the alteration of a building to increase; occupancy, usable floor space or number of living units or the remodeling or renovation of a building which equals or exceeds the cumulative total of fifty (50) percent of the assessed value of the structure either:
 - (1) Before the repair or improvements started; or
 - (2) If the structure has been damaged and is being restored, before the damage occurred.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.03 - Codes adopted.

- (a) The following model codes are adopted in their entirety as additions to the text of this article. The text of these adopted model codes shall be fully enforceable as other regulations adopted under the provisions of this article as if the same were incorporated and set forth at length herein. Model codes adopted pursuant to this article shall not waive any provisions of this chapter or be less restrictive than its provisions.

(1) Florida Fire Prevention Code (FFPC) ~~5th Edition~~ 6th Edition.

~~a. One (1) copy of the adopted model codes has been and is filed in the office of the city clerk.~~

~~(b) One (1) copy of the adopted model codes has been and is filed in the office of the city clerk.~~

(Ord. No. 7460, § 1, 5-7-90; Ord. No. 7549, § 1, 11-2-92; Ord. No. 96-7649, § 1, 4-2-96; Ord. No. 2003-7857, § 1, 7-21-03; Ord. No. 2005-7897, § 1, 2-21-05; Ord. No. 2009-7575, § 1, 8-3-09; Ord. No. 2012-8018, § 1, 6-4-12; [Ord. No. 2015-8062, § 1, 5-4-15](#).)

Sec. 10-3.04. - Inspection.

- (a) The fire official shall cause to be inspected all buildings and premises including such other hazards or material items for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this article and of any other law or standard affecting fire safety.
- (b) All buildings or structures which are structurally unsafe or not provided with adequate egress, or which constitute a fire hazard, or are otherwise dangerous to human life, or which in relation to existing use constitute a hazard to safety or health, or public welfare, by reason of inadequate maintenance, dilapidation, obsolescence, fire hazard, disaster damage, or abandonment, as specified in this article or any other effective ordinance are, for the purpose of this section, unsafe buildings. All such unsafe buildings are hereby declared to be public nuisances and shall be abated by repair, rehabilitation, demolition, or removal.
- (c) When an apparent structural hazard is caused by the faulty installation, or malfunction of any of the items or devices listed in section 10-3.06, the fire official shall immediately order the correction of the hazards as required by this article and shall notify the building official of such hazards for correction under Chapter 7 of the Code of Ordinances of the city.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.05. - Right of entry.

- (a) To the full extent permitted by law, the fire official, engaged in fire prevention and inspection work, is authorized at all reasonable times to enter and examine any building, structure, marine vessel, vehicle, or premises for the purpose of making fire safety inspections. Before entering a private building or dwelling, the fire official shall obtain the consent of the occupant thereof or obtain a court warrant authorizing entry for the purpose of inspection except in those instances where an emergency exists. As used in this section, "emergency" means circumstances that the fire official knows, or has reason to believe, exist, and that reasonably may constitute immediate danger to life and property.
- (b) Persons authorized to enter and inspect buildings, structures, marine vessels, vehicles, and premises as herein set forth shall be identified by proper credentials issued by the city.
- (c) It shall be unlawful for any person to interfere with the fire official carrying out any duties or functions prescribed by this article.
- (d) It shall be unlawful for any unauthorized person to use an official badge, uniform, or other credentials to impersonate a fire official for the purpose of gaining access to any building, structure, marine vessel, vehicle, or premises in this jurisdiction.
- (e) No person, owner or occupant of any building or premise shall fail, after proper credentials are displayed, to permit entry into any building or onto any property by the fire official for the purpose of inspections pursuant to the chapter.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.06. - Notice to eliminate dangerous conditions.

- (a) Whenever the fire official shall find in any building, or upon any premises, dangerous or hazardous conditions or materials as follows, there shall be issued such notice or orders to remove or remedy the conditions as may be necessary for the protection of life and property from fire and smoke.
- (1) Dangerous or unlawful amounts of combustible or explosive or otherwise hazardous materials;
 - (2) Hazardous conditions arising from defective or improperly installed equipment for handling or using explosive or otherwise hazardous materials;
 - (3) Dangerous accumulations of rubbish, waste paper, boxes, shavings or other highly combustible materials;
 - (4) Accumulations of dust or waste material in air conditioning or ventilating systems or of grease in kitchen or other exhaust ducts or inadequate clearances to unprotected combustible material from hoods, grease extractors and ducts;
 - (5) Obstructions to or on fire escapes, designated access openings in exterior walls for fire department use, stairs, passageways, doors or windows, liable to interfere with the operations of the fire department or egress of occupants in case of fire;
 - (6) Any building or other structure which, for want of repairs, lack of adequate exit facilities, automatic or other fire alarm apparatus or fire extinguishing equipment, or by reason of age or dilapidated condition, or from any other cause, creates a hazardous condition.
- (b) Whenever the fire official deems any chimney, smokestack, stove, oven, incinerator, furnace or other heating device, electric fixture or any appurtenance thereto, or anything regulated under a nationally approved standard in or upon any building, structure, or premises not specifically mentioned in this article, to be defective or unsafe so as to create an immediate hazard, he shall serve upon the owner or the person having control of the property, a written notice to repair or alter as necessary and shall notify any other authority enforcing codes regulating such equipment. He may affix a condemnation tag prohibiting the use thereof until such repairs or alterations are made. When affixed, such tag may be removed only by order of such fire official or his duly authorized representative and may be removed only when the hazard to which the order pertains has been eliminated in an approved manner. Until removed, that item or device which has caused the hazard shall not be used or be permitted to be used.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.07. - Service of orders.

The service of orders for the correction of violations of this article shall be made upon the owner, occupant or other person responsible for the conditions, either by delivering a copy of same to such person or by delivering the same to and leaving it with any person in charge of the premises, or in case no such person is found upon the premises, by affixing a copy thereof in a conspicuous place on the door to the entrance of the said premises. Whenever it may be necessary to serve such an order upon the owner of the premises such order may be served either by delivering to and leaving with the said person a copy of the said order, or, if such owner is absent from the jurisdiction of the officer making the order by sending such copy by certified or registered mail to the owner's last known post office address.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.08. - Compliance.

Any order or notice issued or served as provided in this article shall be complied with by the owner, operator, occupant or other person responsible for the condition or violation to which the order or notice pertains. Every order or notice shall set forth a time limit for compliance dependent upon the hazard and danger created by the violation. In cases of extreme danger to persons or property, immediate compliance shall be required.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.09. - Authority to require exposures or stop work.

- (a) Whenever any installation that is subject to inspection prior to use is covered or concealed without having first been inspected, the fire official may require by written notice that such work be exposed for inspection. The fire official shall be notified when the installation is ready for inspection and the fire official shall conduct the inspection within a reasonable period of time.
- (b) When any construction or installation work is being performed in violation of the plans and specifications as approved by the fire official, a written notice shall be issued to the responsible party to stop work on that portion of the work that is in violation. The notice shall state the nature of the violation, and no work shall be continued on that portion until the violation has been corrected.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.10. - Appeals.

- (a) Any person aggrieved by an order issued under this article may appeal such order in accordance with the procedures established in the Fire Prevention Code, as adopted in section 10-3.03 of this article.
- (b) In the event of a conflict between the Building Code as established in Chapter 7 of the Code of Ordinances of the City, and this article, it shall be resolved in accordance with section 553.73, F.S.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.11. - Summary abatement.

- (a) The fire official shall have the authority to summarily abate any condition that is in violation of any provision of this chapter and that presents an immediate hazard to life or property.
- (b) When, in the opinion of the fire official, there is actual danger to the occupants or those in proximity of any building, structure or premises because of unsafe structural conditions or inadequacy of any exitway, the presence of explosives, explosive fumes or vapors, flammable liquids, vapors, gases or materials, the fire official may order the immediate evacuation of such building, structure or premises and no one shall enter or reenter until authorized to do so by the fire official. In addition, the fire official may order the disconnection of electric and gas utility services from such building, structure or premises and no one shall reconnect such utility services until authorized to do so by the fire official.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.12. - Penalties and other remedies for violations.

- (a) Failure to comply with any provision of this article or any lawful order of the fire official shall constitute a misdemeanor of the second degree, punishable by a fine of not more than five hundred dollars (\$500.00), or by imprisonment for not more than ten (10) days, or by both a fine and imprisonment. Each day that a violation continues shall be a separate offense.
- (b) The city may institute injunction, mandamus or any other appropriate actions or proceeding at law or in equity for the enforcement of this chapter or to correct violations of this chapter, and any court of competent jurisdiction shall have the right to issue restraining orders, temporary or permanent injunctions or mandamus or other appropriate forms of remedy or relief.

- (c) The city may enforce this chapter using the proceedings set forth in Chapter 2 Administration, Article VI, Codes Enforcement Board, of the Code of Ordinances, City of Jacksonville Beach, Florida.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.13. - Authority to investigate fires.

- (a) The fire official shall investigate the cause, origin and circumstances of each and every fire occurring in the city involving the loss of life or injury to persons, or destruction or damage to property. A written report shall be made of all facts and findings relative to each fire investigation.
- (b) If it appears that the fire is of suspicious origin, the fire official shall immediately notify the police department and shall assist the police department as necessary in its investigation.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.14. - Key vault requirement.

The fire official may require the installation and maintenance of a key vault security system in such buildings or structures where security precautions and protective devices may unreasonably delay the entry of the fire department in time of emergency.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.15. - Fees.

The city council may, by resolution, establish a schedule of fees to pay the cost of inspections, plans review, fire/rescue standby services, emergency control services and related administrative costs incurred pursuant to this chapter.

(Ord. No. 7460, § 1, 5-7-90; Ord. No. 96-7649, § 2, 4-2-96)

Sec. 10-3.16. - Automatic fire sprinkler requirements.

The following supplemental automatic fire sprinkler requirements are adopted for the purpose of furthering the growth management goals, objectives, and policies of the Jacksonville Beach 2010 Comprehensive Plan Elements, adopted pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act of 1985.

- (1) All new buildings or existing buildings incorporating new additions or expansions, except one or two-family dwellings, shall be equipped with a complete automatic sprinkler system:
- a. Where the combined total occupant load is three hundred (300) persons or more.
 - b. Where an assembly occupancy is located above or below the level of exit discharge, regardless of occupant load.
 - c. Where the building is used as an educational, health care, ambulatory health care or residential board and care occupancy.
 - d. In any and all areas below the level of exit discharge.
 - e. In all buildings over seven thousand (7,000) square feet of gross floor area of all floors combined.
 - f. In all buildings over four (4) stories in height regardless of gross floor area.

- (2) The fire official may omit sprinkler heads in areas of buildings or structures as follows:
 - a. In areas containing electrical equipment or telephone equipment, not over one hundred (100) square feet in gross floor area.
 - b. In small compartmented areas such as closets not over twenty-four (24) square feet and bathrooms not over fifty-five (55) square feet, with limited or non combustible material walls and ceilings that extend behind fixtures.
- (3) All automatic fire sprinkler systems shall be electronically supervised to detect water flow. Such supervision shall be at a location, approved by the fire official, constantly attended by a competent person trained and equipped to alert the fire department in the event of a water flow signal.

(Ord. No. 7460, § 1, 5-7-90; Ord. No. 7549, § 2, 11-2-92; Ord. No. 2003-7857, § 2, 7-21-03; Ord. No. 2005-7897, § 2, 2-21-05)

Sec. 10-3.17. - Building permits.

A permit for construction, erection, alteration, repair or demolition shall not be issued until the fire official has reviewed the plans and specifications for such proposal and the fire official has found the plans to be in compliance with this article and Chapter 633, F.S latest edition of the Florida Fire Prevention Code.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.18. - Smoke detector power source.

All smoke detectors installed to protect sleeping areas, except those in one- and two-family dwellings, shall be powered by a permanent connection to an AC power source.

(Ord. No. 7460, § 1, 5-7-90)

Sec. 10-3.19. - Hazardous materials identification and information.

- (a) There is hereby adopted by the city for the purpose of prescribing regulations to identify hazardous materials manufacturing, storage and use facilities that certain code known as NFPA 704 "Identification of the Fire Hazards of Materials," 2012 edition, of the National Fire Protection Association. One (1) copy of the subject code has been and is filed in the office of the city clerk and The same is hereby adopted and incorporated as fully as if set out at length herein, and from the effective date of this section, the provisions of said standard shall control within the limits of the city.
- ~~(b) The fire official may require the installation of a weather proof box containing up to date hazardous materials safety data sheets, on the exterior of such buildings or structures that contain quantities of hazardous materials. It shall be the responsibility of the occupants storing, handling or using the hazardous materials to maintain this information as current.~~

(Ord. No. 7460, § 1, 5-7-90; Ord. No. 7549, § 3, 11-2-92; Ord. No. 2012-8018, § 1, 6-4-12)

Sec. 10-3.20. - Fire hydrants required.

- (a) All new buildings or structures, except one- and two-family dwellings, shall be protected by a fire hydrant connected to a public water main capable of supplying the necessary water for fire protection. Such fire hydrant shall be located within three hundred (300) feet of the protected building

and shall be so arranged so that hose may be distributed to any portion of the building at distances not exceeding five hundred (500) feet.

- (b) The fire official may modify this requirement when automatic fire sprinkler protection is provided.
- (c) The cost of fire hydrant protection and necessary water system extension shall be the responsibility of the developer.

(Ord. No. 7460, § 1, 5-7-90)

ARTICLE IV. - OPEN BURNING

Sec. 10-4.01 - Open burning regulations.

- (a) Open burning within the city limits is regulated by local ordinance in accordance with rules and regulations by ~~NFPA-1, 3-4 NFPA-1, 10.10.4~~ Florida Fire Prevention Codes (FFPC), the Air Quality ~~Division Branch~~ of the Co Jax/Duval County ~~Regulatory and Environmental Service Department (AQD) Quality Division~~, and the Florida Department of Environmental Protection Agency.
- (b) Any open burning in the city must be approved and have been issued a permit by the Jacksonville Beach Fire Department in accordance with the above mentioned laws, ordinances, and city policies. Open burning may be allowed under special circumstances due to land clearing, ceremonial situations, or other special events. If open burning is allowed, the following conditions must be met:
 - (1) Burning must not be left unattended, but must have a responsible party at the site at all times. Burning shall be limited to daylight hours unless specified hours are listed on the permit.
 - (2) An extinguishing agent or water supply with hose must be readily available at the site.
 - (3) The burning must not cause a safety hazard or nuisance to residents or obstruct vision for motorists on roadways.
 - (4) Burning must be approved and meet air quality standards for Duval County.
 - (5) Burning must not be conducted within fifty (50) feet of a structure.
 - (6) Wind conditions shall not exceed fifteen (15) mph.
 - (7) The fire department will be notified by the responsible party of the date and time of the requested burning to determine compliance with the guidelines and regulations. If the open burning request is approved, the fire department will notify emergency communications and ~~AQD Air Quality Branch~~ of the location, date, and time.
- (c) For other than one and two family dwellings, no hibachi, grills of any type, or similar device used for cooking, heating, or other purpose shall be used or kindled on any balcony, under any overhang portion of a structure or within ten (10) feet of any structure. Listed electric, LP gas, or natural gas operated equipment permanently installed in accordance with its listing, applicable codes, and manufacturer instructions, shall be permitted if the LP or natural gas is piped in to the appliance and approved by the fire marshal.
- (d) Cooking fires in approved containers, ornamental fireplaces, chimeneas, charcoal, gas, or electric barbecue grills and patio heaters are allowed at one and two family dwellings provided they are used in accordance with their listing, applicable codes, recommended fuel, and the manufacturer's instructions. They are not to be used around combustible material, nor are they to create a nuisance or other type of hazard.
- (e) Warming fires may be allowed at construction sites if a permit is issued, an approved container is used, and the requirements for open burning are met.
- (f) Trash/rubbish fires are prohibited at any time. This material includes wiring, household waste, yard collections, construction debris, or other similar material. Burning leaves or grass is prohibited.

(g) Open fires on the beach for any reason are not allowed. Cooking fires in approved gas or charcoal cookers are allowed provided that coals and other cooking material, when finished, are disposed of in approved containers.

(h) Commercial incinerators shall be equipped and maintained with an adequate spark arrestor.

(Ord. No. 2003-7857, § 3, 7-21-03; Ord. No. 2005-7897, § 3, 2-21-05; Ord. No. 2008-7952, § 1, 4-21-08; Ord. No. 2012-8018, § 1, 6-4-12)