

Introduced By: Councilman Parpart

Adopted: May 1, 1995

RESOLUTION NO. 1452-95

A RESOLUTION MODIFYING A COMMUNITY REDEVELOPMENT PLAN FOR THE DOWNTOWN REDEVELOPMENT AREA FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMMUNITY REDEVELOPMENT ACT WITH REGARD TO PARKING, TRAFFIC CIRCULATION, PUBLIC UTILITIES IMPROVEMENTS, ROADWAY RECONSTRUCTION, AND STREETScape IMPROVEMENTS; AND FOR OTHER PURPOSES.

WHEREAS, on January 19, 1987, the City Council of the City of Jacksonville Beach, Florida adopted a plan for redevelopment of certain lands within the city limits of the City of Jacksonville Beach pursuant to an act of the Legislature of the State of Florida duly enacted as the Community Redevelopment Act as amended; and

WHEREAS, the redevelopment of said lands was found to be necessary in the interest of public health, safety, and welfare of the residents of Jacksonville Beach, and in the interest of implementing the intent of the Florida Legislature, as expressed in the Community Redevelopment Act, as amended, by revitalizing the area economically and socially, improving the tax base, promoting sound growth, and providing improved quality of life; and

WHEREAS, F.S. Section 163.361 provides that if at any time after the approval of a community redevelopment plan by the governing body, it becomes necessary or desirable to amend or modify such plan, the governing body may amend or modify such plan upon recommendation of the Community Redevelopment Agency, the publishing of a notice, and the holding of a public hearing, and

WHEREAS, the Jacksonville Beach Community Redevelopment Agency, has made such a recommendation by Resolution 95-4, passed April 17, 1995, and

WHEREAS, the City Council has considered the recommended improvement project and has held a public hearing on the recommended change after public notice thereof by publication in a

newspaper having a general circulation in the area of operation of the Agency.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JACKSONVILLE BEACH, FLORIDA:

SECTION 1. The Jacksonville Beach Downtown Community Redevelopment Plan dated January 1987 (the Plan) is modified as to the parking, traffic circulation, public utilities, roadway improvements and streetscape provisions, by the adoption of the Terms and Specifications for Paving, Drainage, Water and Sewer Improvements embodied in Bid No. 9495-29, (the Improvements), which is incorporated by this reference as Exhibit A. A copy of the Improvements has been present in the meeting room during the Public Hearing and during the presentation of this resolution, and a copy of which is on file and available for public inspection, and a copy of which is on file and available for public inspection in the offices of the Jacksonville Beach Community Redevelopment Agency, 15 North 3rd Street, Jacksonville Beach, Florida.

SECTION 2. The major components of said modifications to the Plan are summarized in Exhibit B.

SECTION 3. All of the findings and representations made in the January 19, 1987 Resolution, as amended, are incorporated by this reference, except as modified herein.

SECTION 4. This Resolution shall take effect upon its passage and publication as required by law.

AUTHENTICATED this 1st day of May A.D. 1995.



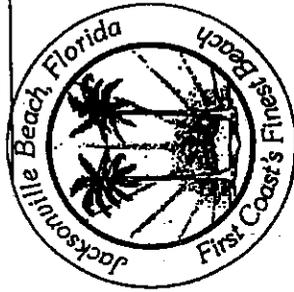
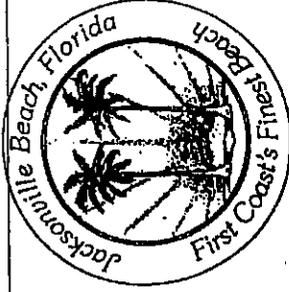
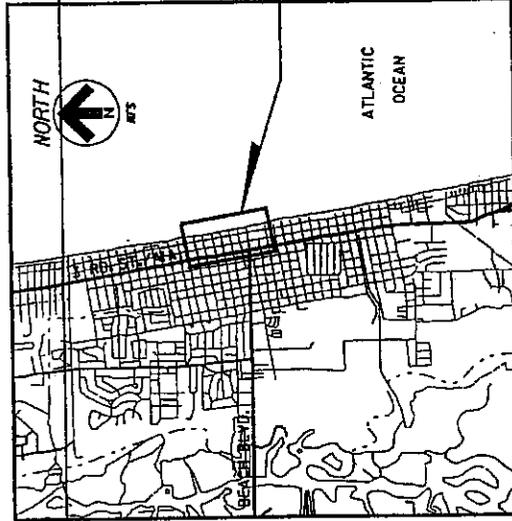
William B. Latham, MAYOR



Bruce Corbitt, CITY CLERK

**DOWNTOWN REDEVELOPMENT AREA  
CITY OF JACKSONVILLE BEACH, FLORIDA**

**PAVING, DRAINAGE, WATER & SEWER IMPROVEMENTS**



**PREPARED FOR**

**JACKSONVILLE BEACH COMMUNITY REDEVELOPMENT AGENCY**

**CHAIRMAN, COMMUNITY REDEVELOPMENT AGENCY**

**RAY FISHER**

**PLANNING AND DEVELOPMENT DIRECTOR**

**STEVEN G. LINDORFF**

**PREPARED BY**



**Reynolds, Smith and Hills Inc.**

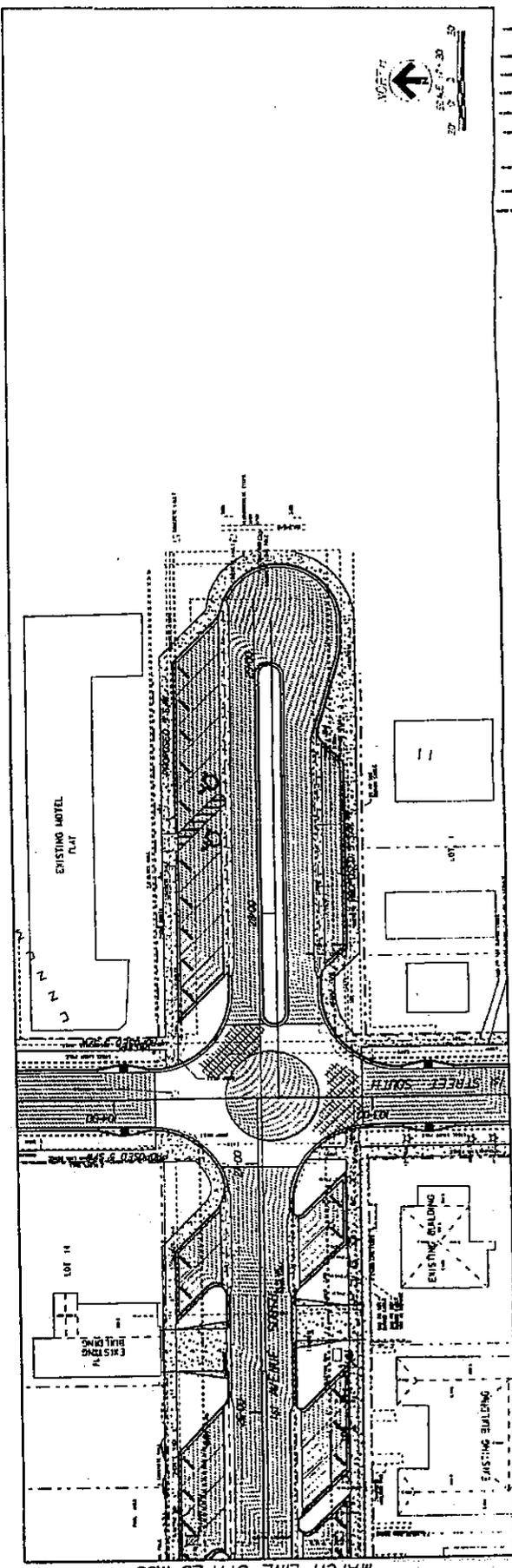
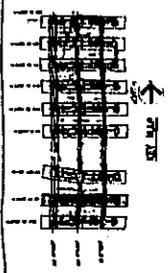
Architecture, Engineering and Planning  
Jacksonville, Florida

ENG. PROJECT NO.  
59-1273-000

**BID SET**

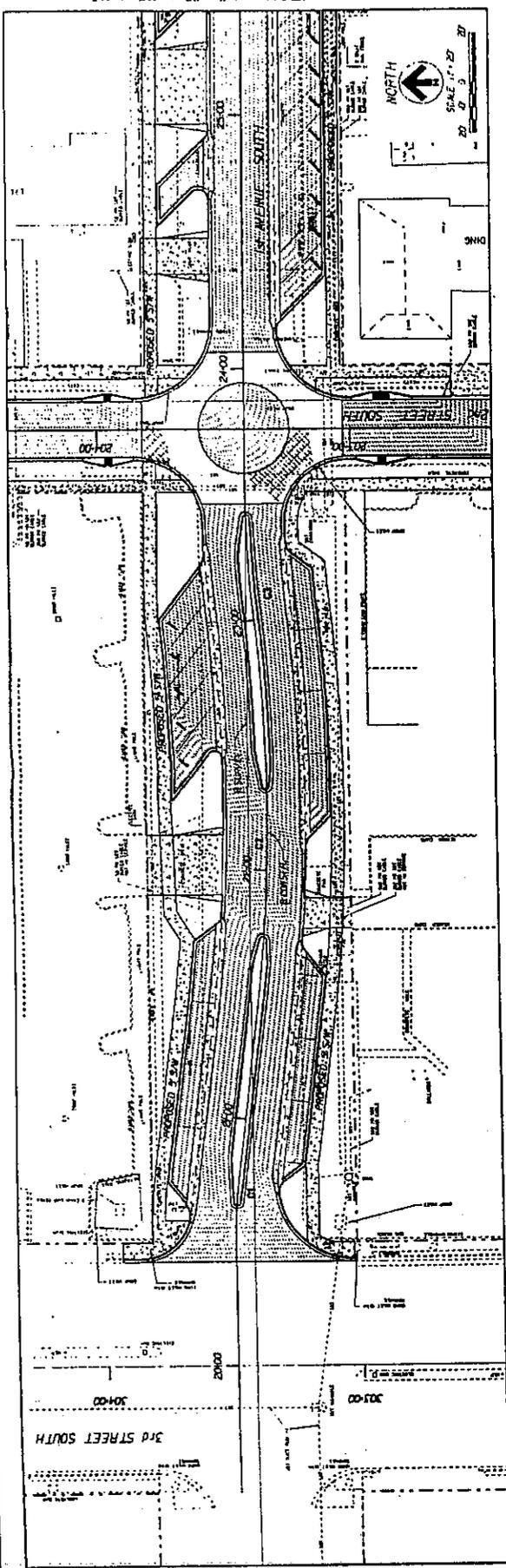
**BID DATE 4/21/95**





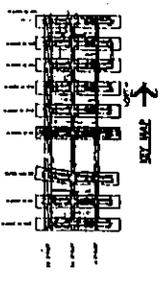
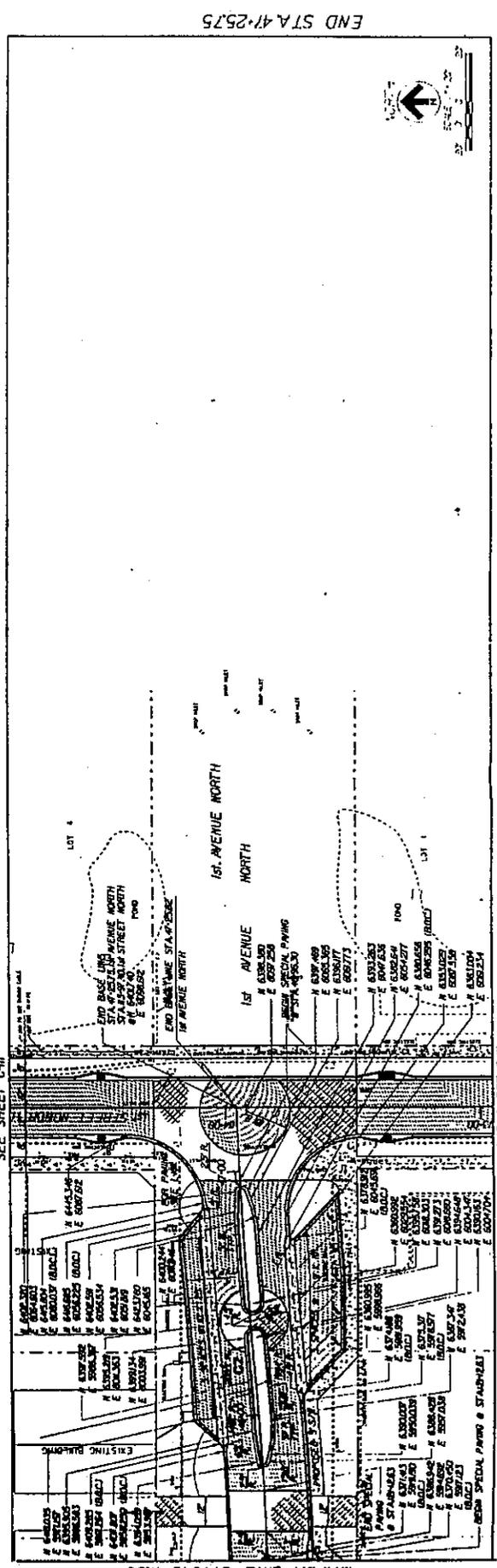
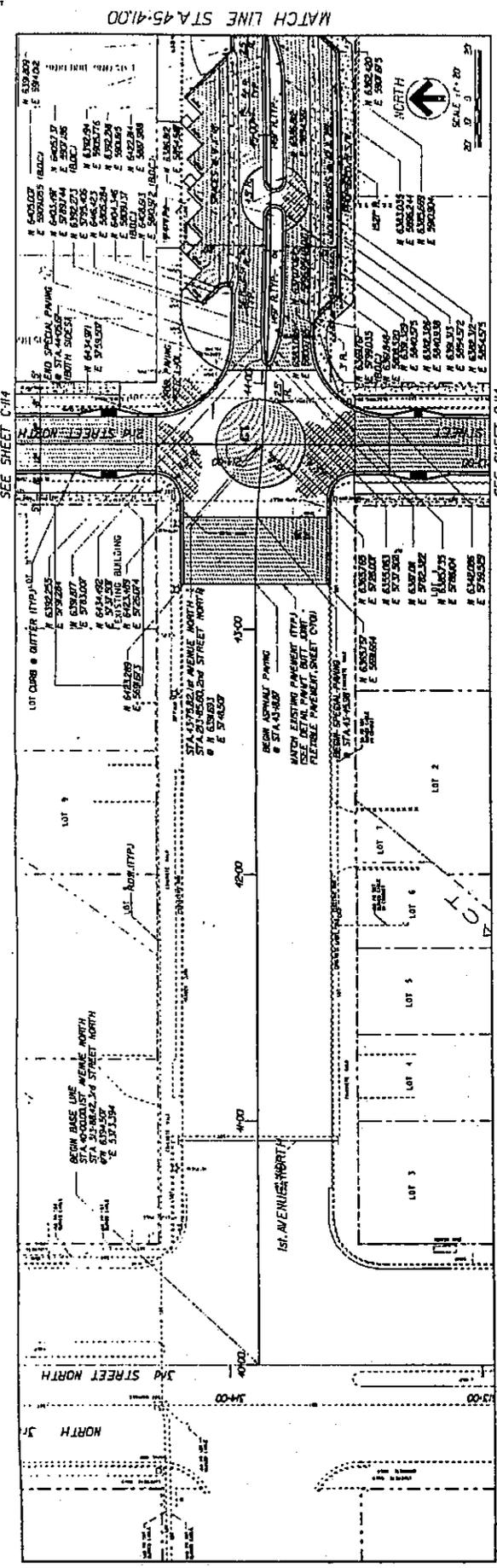
MATCH LINE STA 25+41.8B

- C1 CURVE DATA  
PAC STA 25+30.00  
A = 678.55 FT  
R = 500.00 FT  
L = 100.00 FT
- C2 CURVE DATA  
PAC STA 25+35.00  
A = 678.55 FT  
R = 500.00 FT  
L = 100.00 FT
- C3 CURVE DATA  
PAC STA 25+40.00  
A = 678.55 FT  
R = 500.00 FT  
L = 100.00 FT



MATCH LINE STA 25+41.8B





- C1  
CURB DATA  
PLOT STA. 45+00  
PLOT STA. 45+25  
PLOT STA. 45+50  
PLOT STA. 45+75  
PLOT STA. 46+00  
PLOT STA. 46+25  
PLOT STA. 46+50  
PLOT STA. 46+75  
PLOT STA. 47+00
- C2  
CURB DATA  
PLOT STA. 45+00  
PLOT STA. 45+25  
PLOT STA. 45+50  
PLOT STA. 45+75  
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PLOT STA. 46+75  
PLOT STA. 47+00

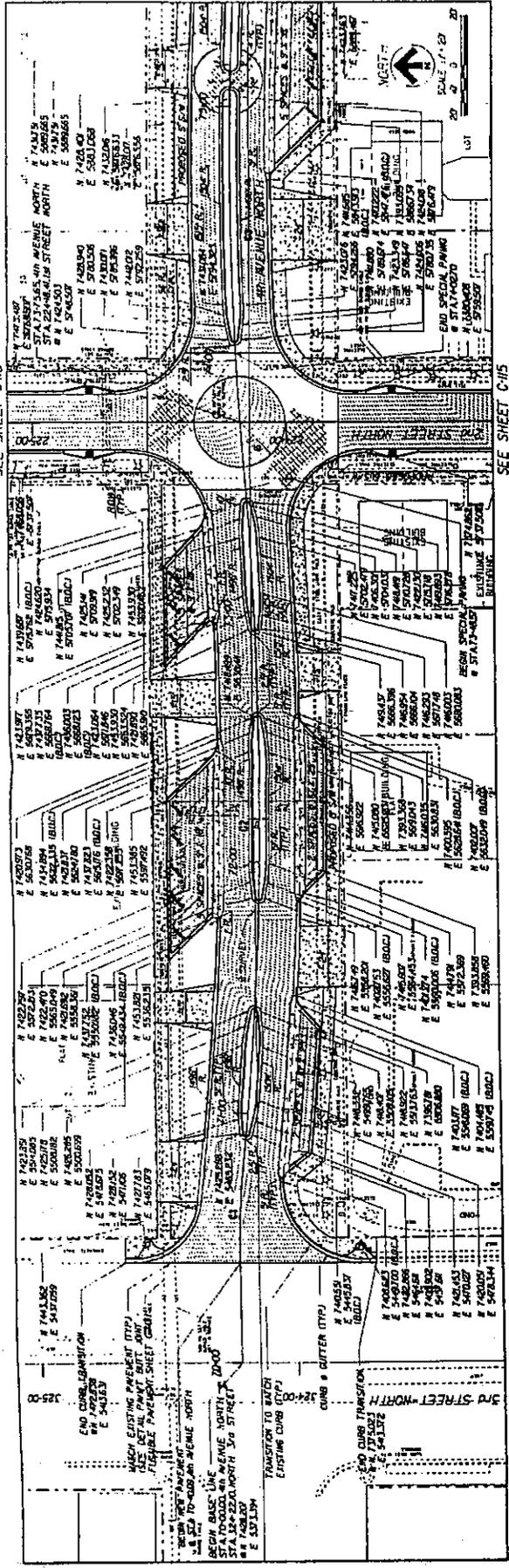
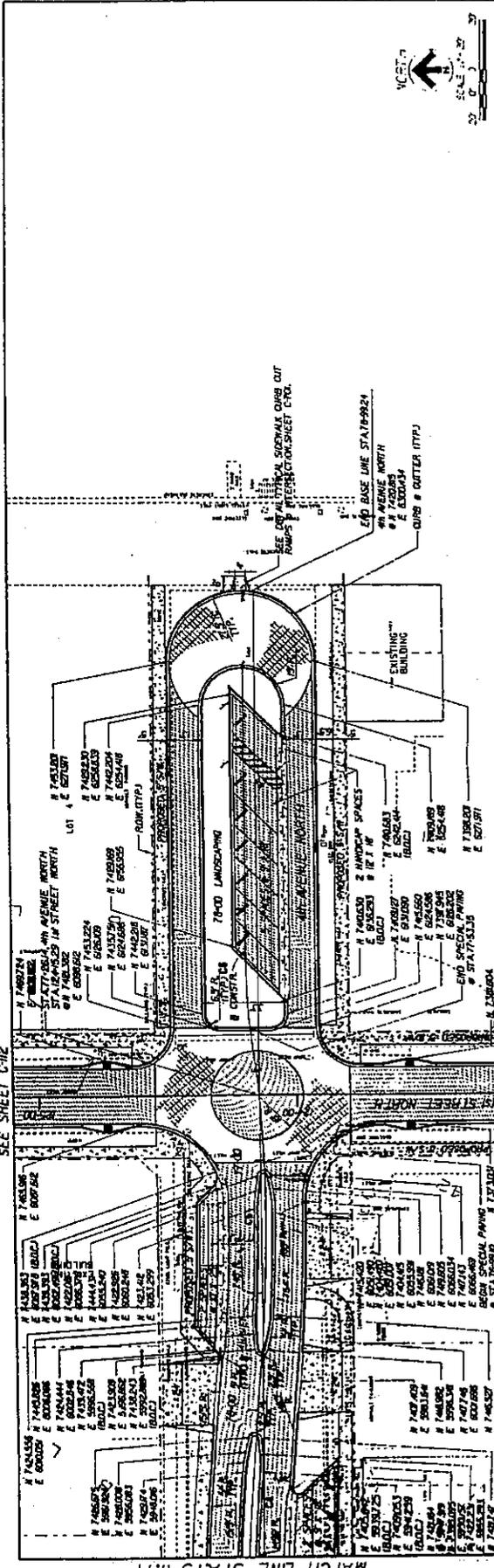
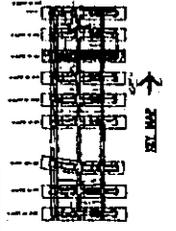
1. FOR GENERAL NOTES, REFER TO DRAWING SHEET C-14.
2. ALL WORK SHALL BE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
3. THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL PROPOSED SIDEWALKS SHALL BE 3' WIDE UNLESS OTHERWISE NOTED.
5. ALL PROPOSED CONCRETE DRIVEWAYS SHALL MATCH EXISTING DRIVEWAYS.
6. ALL CONCRETE DRIVEWAYS SHALL BE 12' WIDE UNLESS OTHERWISE NOTED.
7. ALL DRIVEWAYS SHALL BE 12' WIDE UNLESS OTHERWISE NOTED.
8. ALL DRIVEWAYS SHALL BE 12' WIDE UNLESS OTHERWISE NOTED.
9. ALL DRIVEWAYS SHALL BE 12' WIDE UNLESS OTHERWISE NOTED.
10. ALL DRIVEWAYS SHALL BE 12' WIDE UNLESS OTHERWISE NOTED.





END STA 78+99.24

MATCH LINE STA 75+41.94



- NOTES:
1. REFER TO GENERAL NOTES, LEGEND AND MONUMENT
  2. ALL CORNER VALUES SEE SHEET C-101
  3. THE BACK OF CURB SHALL BE FINISHED UNLESS OTHERWISE NOTED
  4. ALL PROPOSED CONCRETE DRIVEWAYS SHALL MATCH EXISTING DRIVEWAYS
  5. ALL PROPOSED PAVEMENT SHALL BE CONFORMANT WITH THE LATEST AASHTO SPECIFICATIONS UNLESS OTHERWISE NOTED
  6. PAVEMENT PUMPS ARE TO BE CONSTRUCTED AT ALL INTERSECTIONS
  7. SEE THICK WALL CURB CUT RUMPS & INTERSECTION SHEET C-101

- C1 CURVE DATA  
PAC STA 78+15.00  
R = 300.00  
L = 70.00
- C2 CURVE DATA  
PAC STA 78+15.00  
R = 300.00  
L = 70.00
- C3 CURVE DATA  
PAC STA 78+15.00  
R = 300.00  
L = 70.00
- C4 CURVE DATA  
PAC STA 78+15.00  
R = 300.00  
L = 70.00
- C5 CURVE DATA  
PAC STA 78+15.00  
R = 300.00  
L = 70.00
- C6 CURVE DATA  
PAC STA 78+15.00  
R = 300.00  
L = 70.00



SEE SHEET C-105

SEE SHEET C-105

SEE SHEET C-102

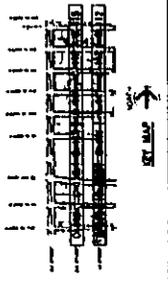
SEE SHEET C-102

MATCH LINE STA 75+41.94

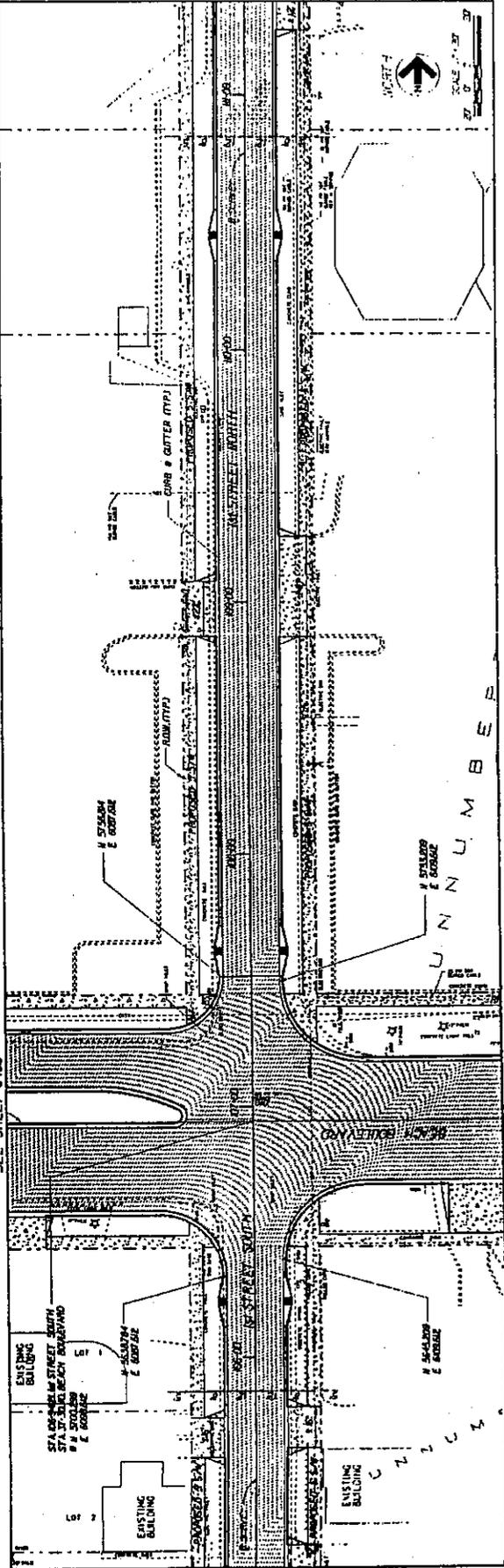
MATCH LINE STA 75+41.94





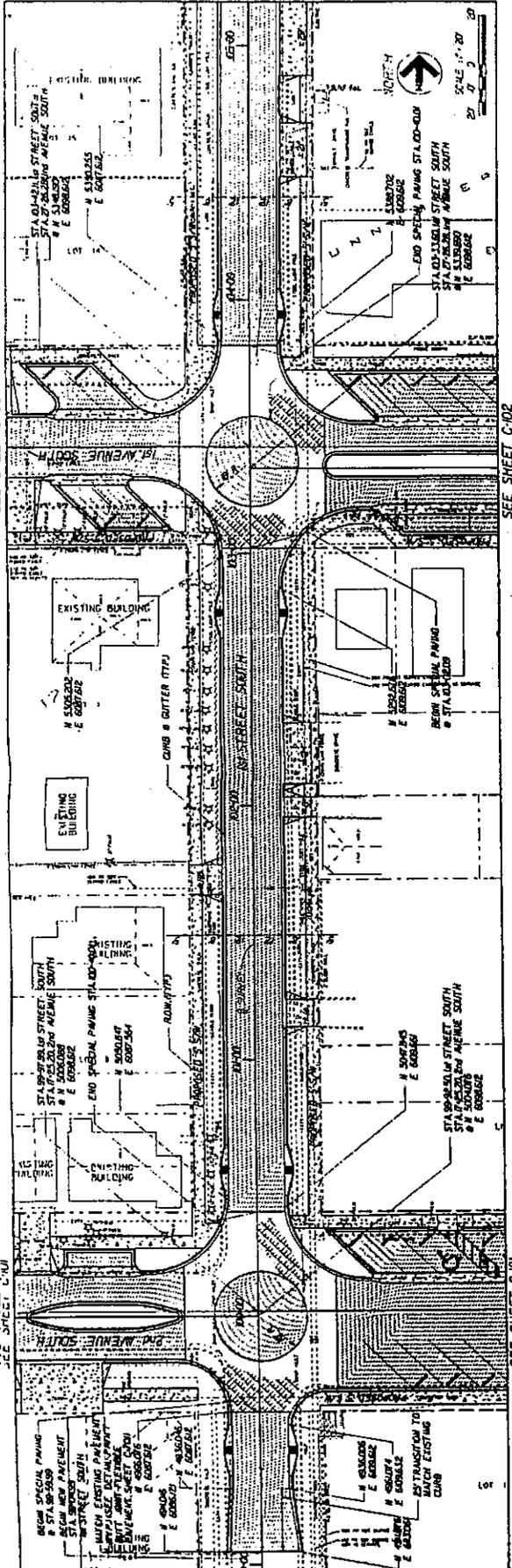


MATCH LINE STA. III-37.56



MATCH LINE STA. I-105-17.53

MATCH LINE STA. I-105-17.53



MATCH LINE STA. I-96-97.49

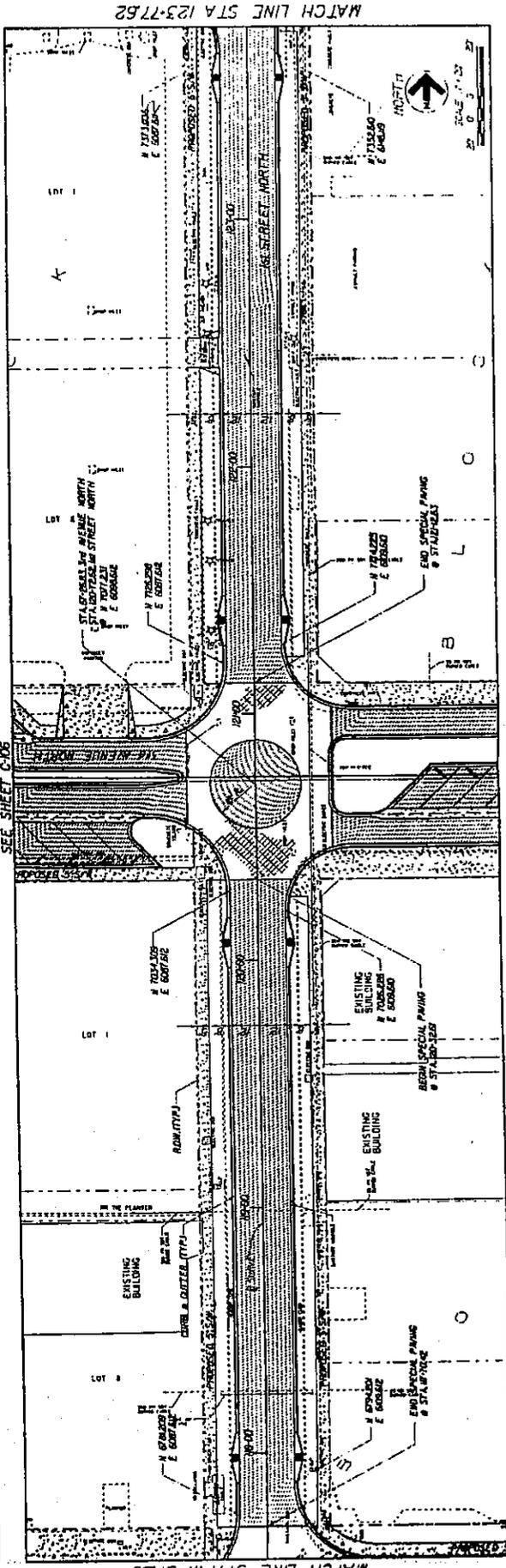
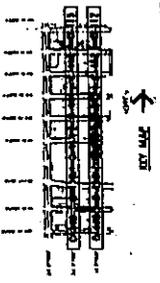
- NOTES
1. GENERAL NOTES REFER TO DRAWING.
  2. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
  3. THE AGE OF CURB UNLESS OTHERWISE NOTED.
  4. ALL PROPOSED CONCRETE CURBS SHALL MATCH EXISTING CURBS.
  5. ALL PROPOSED PAVING, CURBS, AND SEWERS ARE SHOWN TO THE EDGE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
  6. ALL PROPOSED PAVING, CURBS, AND SEWERS ARE SHOWN TO THE EDGE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
  7. ALL PROPOSED PAVING, CURBS, AND SEWERS ARE SHOWN TO THE EDGE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
  8. ALL PROPOSED PAVING, CURBS, AND SEWERS ARE SHOWN TO THE EDGE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
  9. ALL PROPOSED PAVING, CURBS, AND SEWERS ARE SHOWN TO THE EDGE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
  10. ALL PROPOSED PAVING, CURBS, AND SEWERS ARE SHOWN TO THE EDGE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

SEE SHEET C-102

SEE SHEET C-102

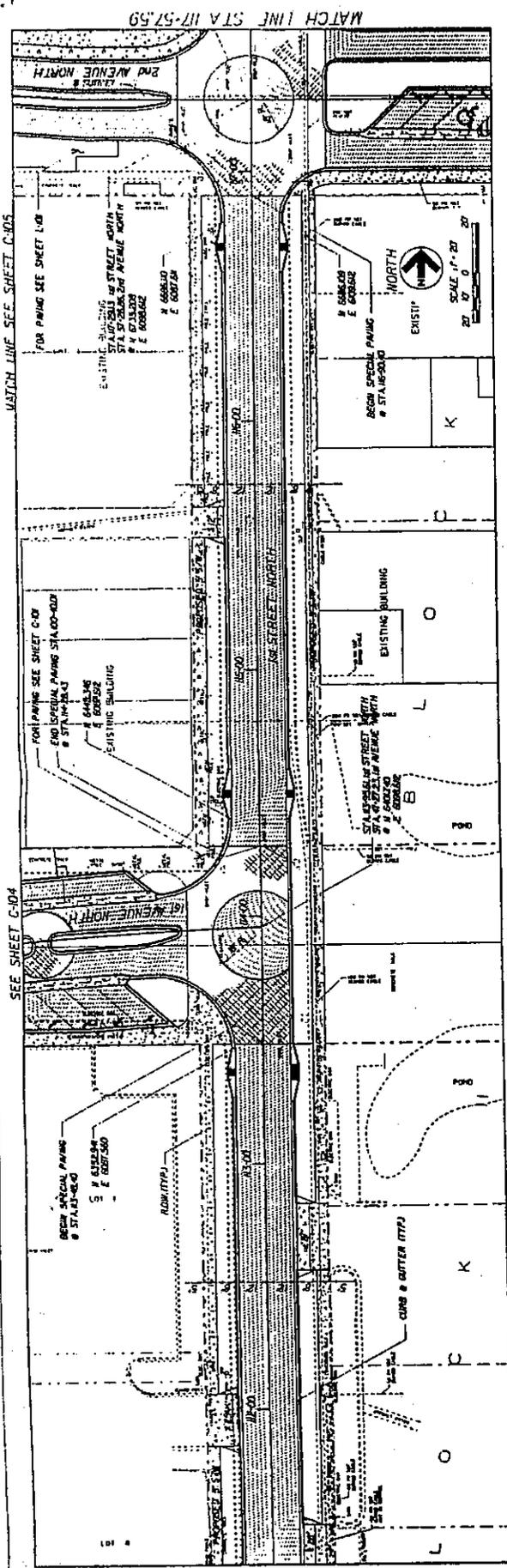
SEE SHEET C-103

SEE SHEET C-101



MATCH LINE STA 123+78.2

MATCH LINE STA 117+57.59



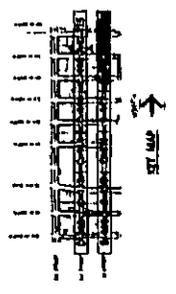
MATCH LINE STA 117+57.59

MATCH LINE STA 111+37.0

- 1. GENERAL NOTES, LEGEND AND MONUMENT
- 2. CONTROL CORNER VALUES SEE SHEET C-01
- 3. ALL DIMENSIONS TO THE EDGE OF PAVEMENT
- 4. ALL DIMENSIONS TO THE CENTERLINE UNLESS OTHERWISE NOTED
- 5. ALL PROPOSED CONCRETE SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 6. ALL PROPOSED CONCRETE DRIVEWAYS SHALL MATCH EXISTING DRIVEWAYS
- 7. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 8. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 9. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 10. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 11. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 12. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 13. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 14. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 15. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 16. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 17. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
- 18. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED
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- 20. ALL DRIVEWAYS SHALL BE 5" MIN. UNLESS OTHERWISE NOTED

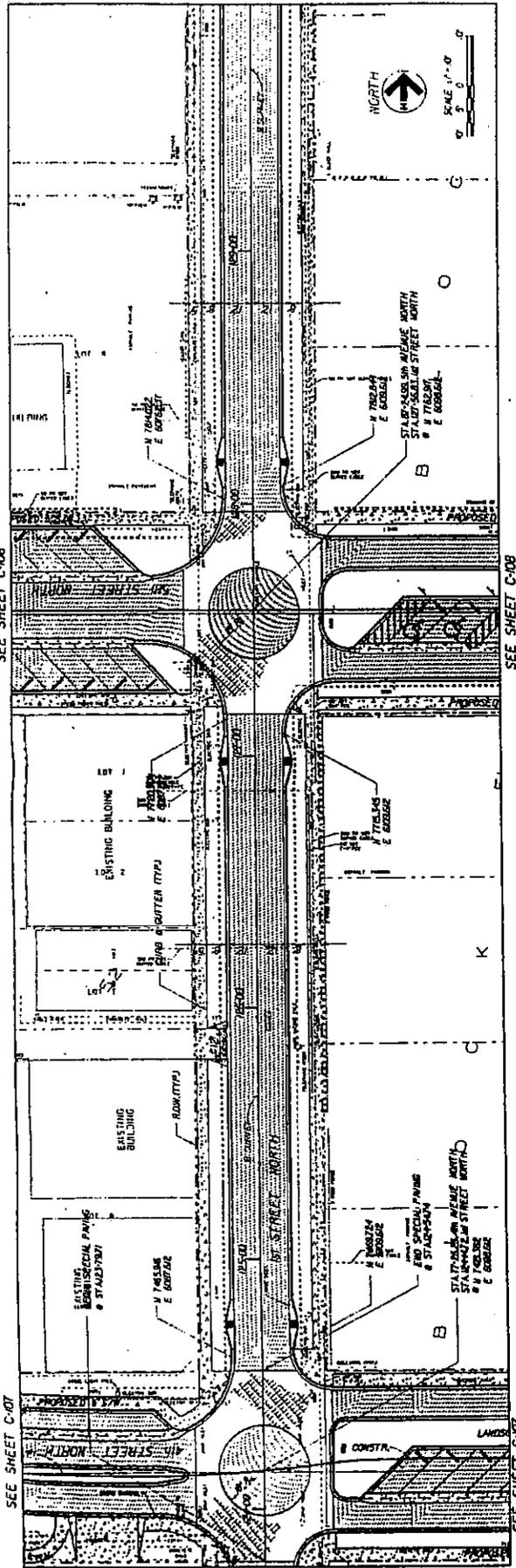
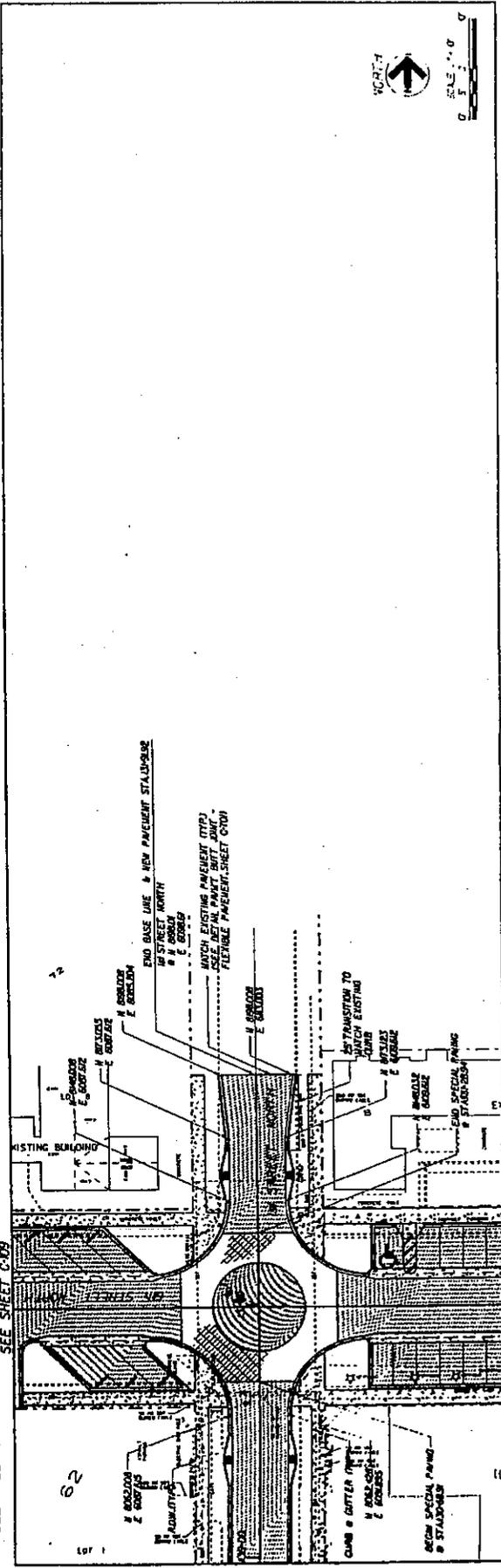
SEE SHEET C-04

MATCH LINE SEE SHEET C-05

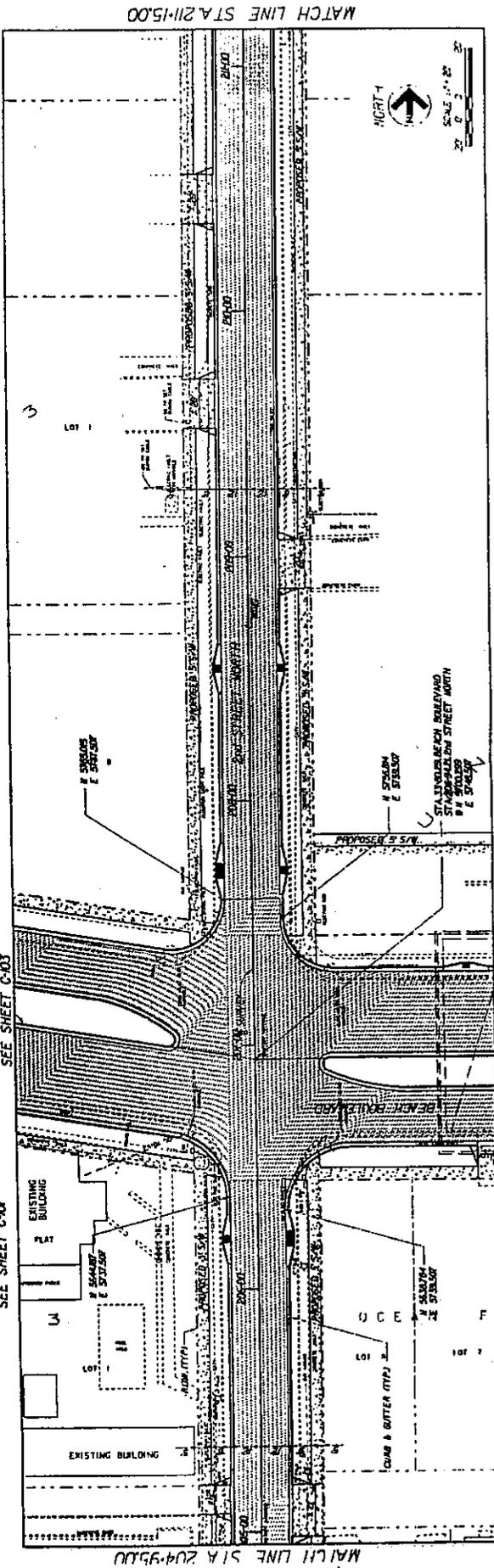
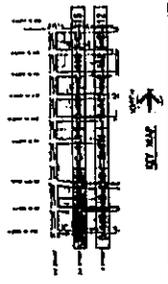


END STA. 131+91.92

MATCH LINE STA. 129+97.59



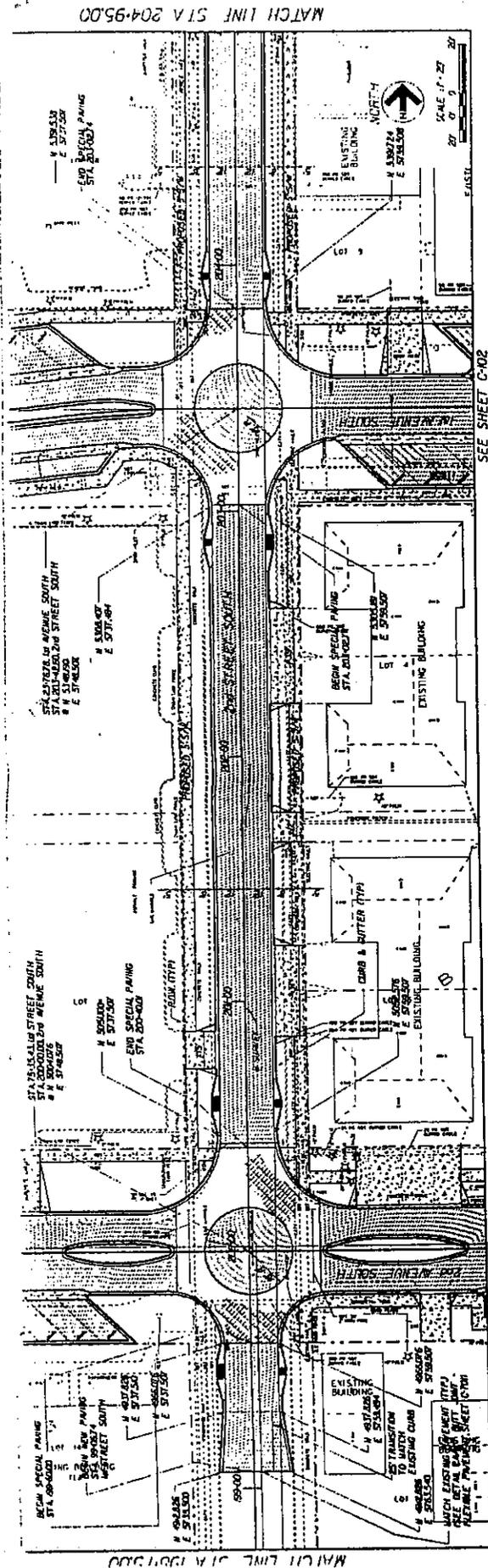
- NOTES
1. GENERAL NOTES, LEGEND AND DIMENSIONS
  2. CONTROL CORNER VALUES SEE SHEET C-01
  3. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED
  4. ALL PROPOSED CONCRETE DRIVEWAYS SHALL MATCH EXISTING DRIVEWAYS
  5. ALL PROPOSED PAVEMENT SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  6. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  7. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  8. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  9. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  10. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  11. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  12. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  13. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  14. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  15. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  16. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  17. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  18. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  19. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED
  20. ALL PROPOSED DRIVEWAYS SHALL BE 375 CONCRETE OR 375 COMPACTED GRANULAR FILL UNLESS OTHERWISE NOTED



MATCH LINE STA 204+95.00

MATCH LINE STA 211+5.00

- NOTES:
1. GENERAL NOTES, LEGEND AND NOMENCLATURE APPLY TO THIS SHEET.
  2. CONTROL POINTS AND STATIONING SHALL BE AS SHOWN ON SHEET C-107.
  3. ALL DIMENSIONS SHALL BE IN FEET UNLESS OTHERWISE NOTED.
  4. ALL PROPOSED CONCRETE DRIVEWAYS SHALL MATCH EXISTING DRIVEWAYS.
  5. ALL PROPOSED PAVEMENT SHALL BE 4" CONCRETIC FINISH TO THE CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  6. PAVEMENT RAMP ARE TO BE CONSTRUCTED AT ALL INTERSECTIONS.
  7. SEE TYPICAL SIDEWALK CURB CUT RAMP & INTERSECTION, SHEET C-106.



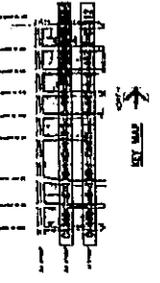
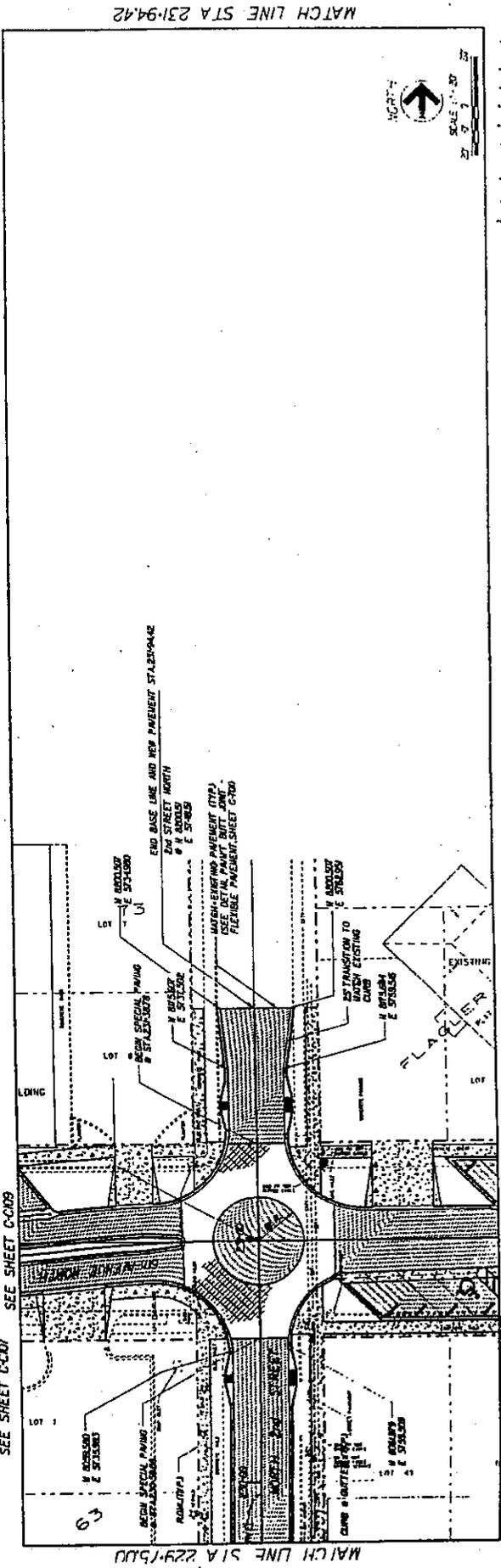
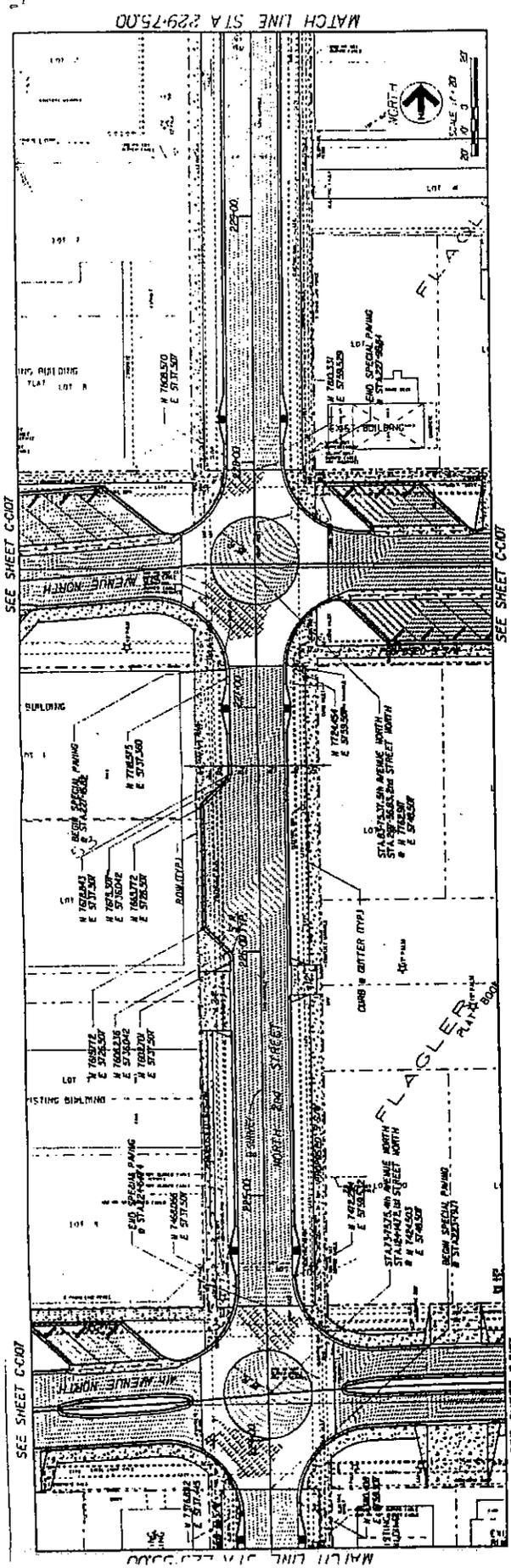
MATCH LINE STA 190+5.00

MATCH LINE STA 204+95.00

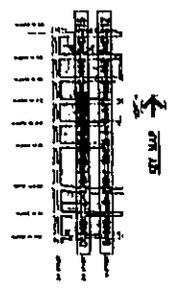
SEE SHEET C-102

SEE SHEET C-103

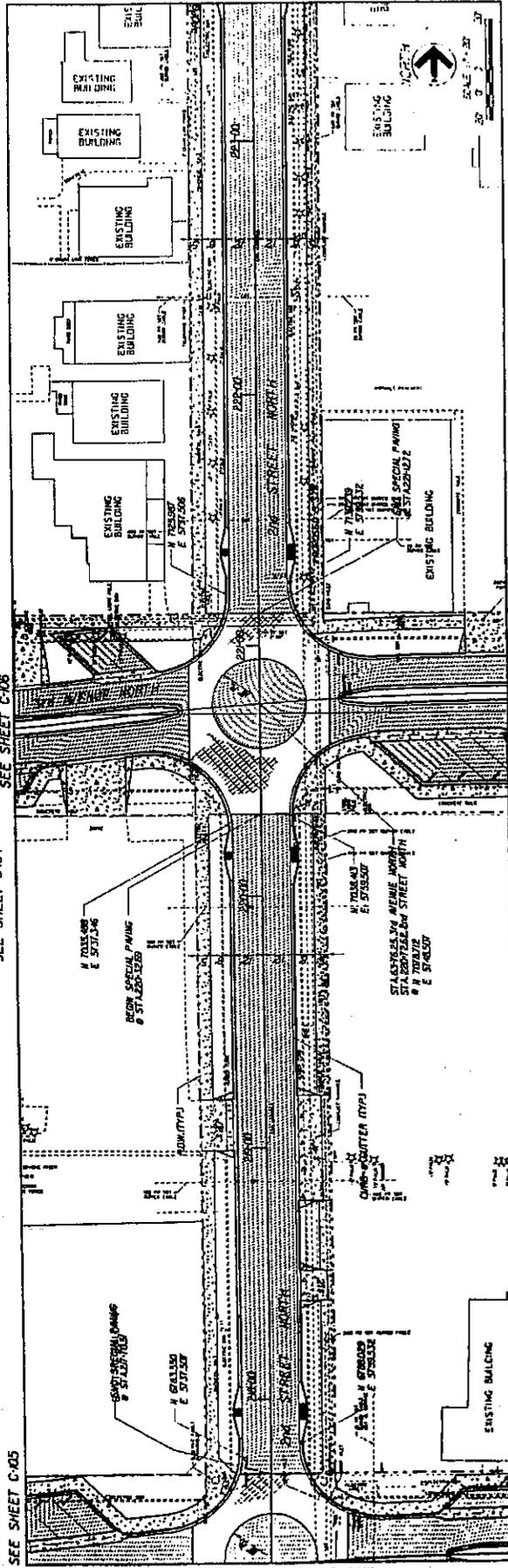
SEE SHEET C-104



- NOTES**
1. FOR GENERAL NOTES, LEGEND AND DIMENSIONS SEE SHEET C-007.
  2. ALL PAVEMENT SHALL BE TO THE FACE OF PAVEMENT AND 30 TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  3. ALL PROPOSED SURFPAVS SHALL BE 3" THICK UNLESS OTHERWISE NOTED.
  4. MOTORS OR TRAILERS SHALL NOT BE ALLOWED TO DRIVE ON DETAIL SHEET C-009.
  5. ALL CONCRETE PAVEMENTS AND CURBS SHALL BE SET TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  6. ALL CURBS SHALL BE SET TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  7. SEE TYPICAL SIDEWALK CURB CUT TEMPLS & INTERSECTION SHEET C-008.



MATCH LINE STA 223+55.00

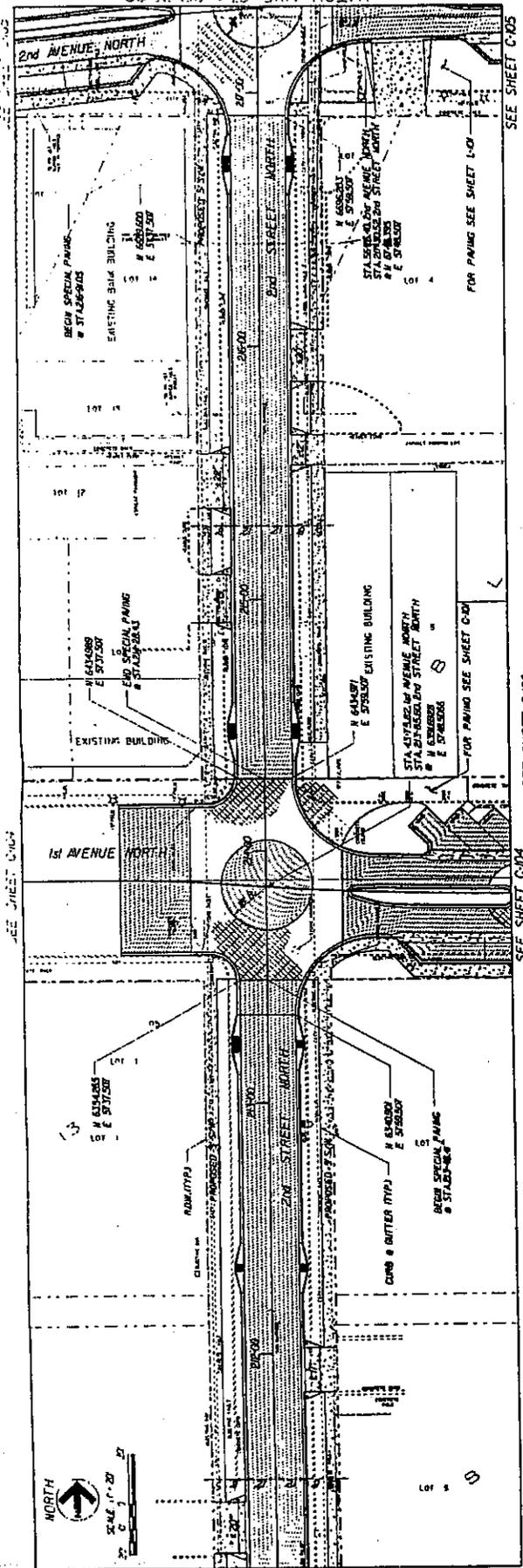


SEE SHEET C-05

SEE SHEET C-06

- SEE SHEET C-05
1. GENERAL NOTES, LEGEND AND MONUMENT DATA.
  2. ALL DIMENSIONAL VALUES SEE SHEET C-05.
  3. THE AREA OF CONCERN IS SHOWN ON SHEETS C-05 AND C-07 TO C-10.
  4. ALL PROPOSED CONCRETE SHALL BE 5" THICK UNLESS OTHERWISE NOTED.
  5. ALL PROPOSED CONCRETE SHALL MATCH EXISTING DIMENSIONS.
  6. ALL PROPOSED PAVING SHALL BE 4" THICK UNLESS OTHERWISE NOTED.
  7. ALL PROPOSED PAVING SHALL BE 4" THICK UNLESS OTHERWISE NOTED.
  8. ALL PROPOSED PAVING SHALL BE 4" THICK UNLESS OTHERWISE NOTED.
  9. SEE TYPICAL SIDEWALK DRAIN CUT ALUMPS @ INTERSECTION SHEET C-07.

MATCH LINE STA 217+50.00



SEE SHEET C-04

SEE SHEET C-04

SEE SHEET C-06

SEE SHEET C-07



MATCH LINE STA 211+50.00

RESOLUTION NO. 95-4

A RESOLUTION RECOMMENDING THAT THE CITY COUNCIL FOR THE CITY OF JACKSONVILLE BEACH MODIFY THE COMMUNITY REDEVELOPMENT PLAN FOR THE DOWNTOWN REDEVELOPMENT AREA FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMMUNITY REDEVELOPMENT ACT WITH THE REGARD TO PARKING, TRAFFIC CIRCULATION, PUBLIC UTILITIES IMPROVEMENTS, ROADWAY RECONSTRUCTION, AND STREETScape IMPROVEMENTS; AND FOR OTHER PURPOSES.

**WHEREAS**, on the recommendation of the City of Jacksonville Beach Community Redevelopment Agency, (the Agency) the City Council of the City of Jacksonville Beach, Florida adopted a plan for redevelopment of certain lands within the city limits of the City of Jacksonville Beach on January 17, 1987, (the Plan) pursuant to an act of the Legislature of the State of Florida duly enacted as the Community Redevelopment Act as amended; and

**WHEREAS**, it was anticipated in the Plan that the implementation of public improvement components of the Plan would require more detailed engineering and review; and

**WHEREAS**, the Agency has obtained the services of Reynolds, Smith & Hills, Inc. to provide an engineering and design analysis for sewer, water, roadway, traffic circulation, and streetscape matter; and

**WHEREAS**, Reynolds, Smith & Hills, Inc. has provided its recommendation at various times to the Agency during meetings and workshops open to the public; and

**WHEREAS**, F.S. Section 163.361 provides that if at any time after the approval of a community redevelopment plan by the governing body, it becomes necessary or desirable to amend or modify such plan, the governing body may amend such plan upon recommendation of the Community Redevelopment Plan, the publishing of a notice, and the holding of a public hearing, and

**NOW, THEREFORE, BE IT RESOLVED BY THE JACKSONVILLE BEACH COMMUNITY REDEVELOPMENT AGENCY:**

Section 1. The Jacksonville Beach Community Redevelopment Agency recommends that Jacksonville Beach Community Redevelopment Plan dated January 1987 (the Plan) be modified as to the parking, traffic circulation, public utilities, roadway improvements and streetscape provisions, by the adoption of the Terms and Specification for Paving, Drainage, Water and Sewer Improvements embodied in Bid No. 9495-29, (the Improvements), which is incorporated by this reference as Exhibit A. A copy of the Improvements is on file and available for public inspection in the offices of Jacksonville Beach Community Redevelopment Agency, 15 North 3rd Street, Jacksonville Beach, Florida.

B. **Section 2.** The major components of said modifications to the Plan are summarized in Exhibit

**Section 3.** This Resolution shall take effect upon its passage and publication as required by law.

AUTHENTICATED this 17<sup>th</sup> day of APRIL A.D. 1995.

  
Raymond Fisher, Chairman

## ATTACHMENT B.

# PUBLIC WORKS/STREETSCAPE PLAN AMENDMENT NARRATIVE

### PROJECT LOCATION AND DESCRIPTION

The project area includes the land bounded by 2nd Avenue South, 3rd Street (State Route A1A), 6th Avenue North, and the Atlantic Ocean bulkhead. The project area is approximately 64 acres in size. It is in the easterly part of Section 33, Township 2 South, Range 39 East of the Jacksonville Beach, Florida USGS quadrangle map. The project area is shown on the attached Figure 1.

The project area is generally considered the downtown section of Jacksonville Beach. It consists of a mixture of land uses, including commercial businesses, residential structures, beach accesses and parking. The commercial uses are primarily located along 3rd Street (S.R. A1A) which provides the principal north-south traffic artery through the city, and along the oceanfront. Most of the residential uses are to the south of Beach Boulevard and north of 2nd Avenue North. These uses include single-family homes, duplexes, and apartments, and hotels and motels. There is a considerable amount of vacant land in the area north of Beach Boulevard. The City of Jacksonville owns the six-block area bounded by Beach Boulevard, 3rd Street, 1st Avenue North and the bulkhead, and is currently negotiating with private developers to undertake a mixed use development on the site.

Figure 2 shows the topography of the project area. Figure 3 locates the project area within its Duval County/Northeast Florida regional context.

### WATER SYSTEM IMPROVEMENTS

Currently, the project area is served by a potable water distribution system with mains varying in size from a minimum of two inches in diameter to a maximum of twelve inches in diameter. The water distribution system varies in age from approximately five to 50 years, and is probably constructed of cast iron, galvanized steel, polyvinyl chloride and possibly asbestos-cement. Most of the mains are found within the street right of ways, however, two of the east-west mains are insufficient in size and need to be replaced with six-inch mains within the street right of way. Another water main placed outside the public right of way passes through city property north of Beach Boulevard between 2nd and 3rd Streets. Other recommended water system improvements include the removal and replacement of the two-inch water main located along 3rd Street, north of Beach Boulevard. The existing main is inadequate in size, and will not support consumptive or fire demands. It is also recommended to provide an interconnection with a new six-inch main to the existing main located north of Beach Boulevard to create a fully looped system in the area between 2nd Avenue South and 6th Avenue North.

The proposed looped water system should be adequate to meet the existing and future domestic and fire flow demands in the project area. The minimum flow for fire protection is 1,500 gallons per minute. Water demand for the project area is projected based on an average daily demand of 1,200 gallons per day per connection. At build-out within the project area, there is expected to be a total average daily demand of 508,800 gallons and peak demand of 0.89 million gallons per day.

Except for the two-inch mains serving some portions of the project area, the water distribution system can meet both domestic and fire flow demands. The water treatment plants currently in operation have the pumping capacity and emergency generating systems capable of meeting the peak demand.

**WATER SYSTEM IMPROVEMENT COST ESTIMATE**

	Unit	Unit Cost	Quantity	Total Cost
<b>Water Main Pipe:</b>				
6" PVC (SDR 18)	LF	11.00	4,847	\$53,317
8" PVC (SDR 18)	LF	12.00	5,818	69,820
6" DIP	LF	10.00	414	4,140
8" DIP	LF	12.50	900	11,250
<b>Gate Valves:</b>				
6" Gate Valve	EA	465.00	23	10,695
8" Gate Valve	EA	850.00	25	21,250
12" Gate Valve	EA	1743.00	3	5,229
<b>Water Services:</b>				
Single	EA	250.00	175	43,750
<b>Miscellaneous:</b>				
DIP Fittings	TON	4,000.00	8.1	32,400
Line Testing	LF	0.50	10,817	5,409
Plug Existing Lines	EA	100.00	32	3,200
Connect to Existing Main	EA	1,000.00	18	18,000
Connect to Existing Fire Hydrant	EA	500.00	6	3,000
Fire Hydrant Assembly	EA	1,500.00	6	9,000
Pavement Removal & Replacement	SY	22.00	45	990
Pump Station Water Service	LS	3,750.00	1	3,750
<b>TOTAL</b>				<b>\$295,199</b>

## SEWER SYSTEM IMPROVEMENTS

Except for a sewer line located along 2nd Street North and a sewer line connection along 1st Street North, the project area is served by sewer lines within alleyways between the backs of lots. These alleys run east and west in the midpoints of the blocks and are generally 10-12 feet in width. Removal and replacement of the existing lines within the same location is virtually impossible without acquiring additional construction easements. This, coupled with the fact that the existing locations pose a severe maintenance problem, has led to the development of a sanitary sewer system improvement alternative which will replace the deteriorating, poorly located lines with ones that will be within street right of ways. The new lines will be easier to inspect and maintain. Replacing the existing sewer system will also help to extend the life of the lift stations which directly or indirectly serve the project area by reducing the hydraulic loads due to infiltration and inflow, and decreasing the wear on pump impellers due to sediment entering the collection system. Subsequently, this reduction in additional flow and sedimentation will also have a positive effect on the Water Pollution Control Plant.

Under the recommended sewer system improvement program, the location of the main collection trunk line along 2nd Street will remain in place, however, the gravity feeder lines will be replaced and upgraded to meet projected demands. It is the City's intent to maintain the major utility corridor along 2nd Street to provide utility services for the oceanfront area. To the maximum extent feasible, it is also the City's intent to move all sanitary lines to the street right of ways due to the construction and maintenance constraints presented by the narrow alleyways currently being used.

Wastewater flows from commercial areas are usually calculated in terms of gallons per day per acre (gpd/ac). This type of estimate generates a more conservative estimate of flow, and is particularly useful when there is uncertainty regarding the type and intensity of future land development. The area capable of being developed or redeveloped within the project site is approximately 53 acres, or about 80 percent of the total project area. Based on experience with similar development areas of this type, a sewer capacity allowance of 7,000 gpd/ac is used to determine average wastewater flows within the project area. The resulting total average wastewater flow is calculated at approximately 400,000 gallons per day. This figure closely compares with a total derived by assuming that approximately 75 percent of the domestic water consumption in an area is returned to the wastewater collection system. Because the total flow generated within the area is split between two lift stations, the proposed wastewater collection improvement program is more than sufficient to meet the projected demands. The proposed plan includes oversized gravity mains within the northerly part of the project area to maintain the minimum depth of cover over pipe, provide for interconnection to the existing system and maintain a minimum flow velocity within the system.

Wastewater flows from the project area are pumped to the Water Pollution Control Plant beginning at Lift Stations #1 and #2, at 4th Street South and 2nd Avenue South, and 4th Street North and 6th Avenue North respectively. These lift stations pump wastewater directly into the collection systems of larger lift stations and then repumped to the Pollution Control Plant.

The proposed sanitary sewer system improvement project will generally follow the existing collection boundaries. Lift Station #1 will receive flows from the area beginning around 2nd Street and 2nd Avenue North. From there, the flows will continue south to the intersection of 2nd Street and 2nd Avenue South where the existing gravity line will be intersected and flow routed to Lift Station #1. Lift Station #2 will receive flows from the project area beginning at 3rd Avenue North. The flow will then continue north to 6th Avenue North, and then westerly to intersect with the trunk main flowing to Lift Station #2. Both lift stations have the capacity to handle the existing and project wastewater flows

from the project area and the immediate vicinity without major modifications. There is adequate capacity available at the Pollution Control Plant to accept the increased flow for the project area.

### WASTEWATER SYSTEM IMPROVEMENT COST ESTIMATE

	Unit	Unit Cost	Quantity	Total Cost
<b>8" DR 35 PVC PIPE:</b>				
0-4 foot cut	LF	\$27.25	175	\$4,769
4-8 foot cut	LF	29.00	7,443	215,847
8-12 foot cut	LF	33.70	348	11,728
<b>10" DR 35 PVC PIPE:</b>				
4-8 foot cut	LF	31.00	559	17,329
8-12 foot cut	LF	35.00	282	9,870
<b>12" DR 35 PVC PIPE:</b>				
8-12 foot cut	LF	42.25	780	35,295
<b>24" DR 35 PVC PIPE:</b>				
10-12 foot cut	LF	65.35	1,067	69,728
<b>4' SANITARY MANHOLE:</b>				
0-8 foot cut	EA	2,500.00	39	97,500
8-12 foot cut	EA	3,000.00	8	24,000
<b>5' SANITARY MANHOLE:</b>				
8-12 foot cut	EA	3,500.00	4	14,000
<b>6" SEWER SERVICES:</b>				
Single Service	EA	14.58	5,764	84,039
Construct 4"/6" PVC Sewer Service Pipe	LF	24.68	1,236	32,747
<b>MISCELLANEOUS:</b>				
Line Testing	LF	0.50	12,290	6,145
Connect New Pipe to Manholes	EA	1,200.00	4	4,800

	Unit	Unit Cost	Quantity	Total Cost
Remove Existing Manholes	EA	800.00	19	7,600
Bore and Jack Under S.R. A1A (24" Carrier)	LF	170.00	100	17,000
By-Pass Pump	LS			15,000
Sodding	SY	1.50	733	1,100
Pavement Removal & Replacement	SY	10.60	469	4,971
<b>TOTAL</b>				<b>\$673,467</b>

### STORM DRAINAGE SYSTEM IMPROVEMENTS

It is the City's goal to provide a stormwater management system in the project area that will provide a level of stormwater quality treatment and stormwater quantity attenuation for as much future development as is economically feasible. To attain this objective, a master stormwater management system for a significant portion of the project area has been devised. It is expected that the presence of a master system for the affected part of the area will provide a significant stimulus for development through the elimination of the need for individual developers to provide on-site treatment and attenuation. A substantial benefit results from the ability to use the land that formerly was devoted to stormwater management facilities for a larger building footprint or additional off-street parking facilities.

The total project area is approximately 64 acres. The principal drainage basin within this area is bounded by Beach Boulevard, 3rd Street (S.R. A1A), 4th Avenue North and Atlantic Ocean bulkhead. This basin is 35 acres with a total impervious area of ±28 acres. The portion of the project area north of 4th Avenue North and south of Beach Boulevard is not included as it drains into another basin centered to the north and south of the project area respectively. The calculation of the impervious coverage is based on the following assumptions:

- Eighty percent of the drainage basin is covered with impervious surfaces.
- The design storm event is the 25-year, 24-hour storm.

Based on these assumptions, a preliminary treatment volume calculation was made. To meet the state-mandated requirements for wet detention treatment systems as administered by the St. Johns River Water Management District, a facility with 5.63 acre feet of volume is needed.

Because of the land area needed to provide for that amount of treatment volume, the City has determined that it is not economical to provide for surface storage within the project area. To meet the State of Florida standards, such a system would require a 10-acre wet detention pond to handle both the treatment and attenuation of the design storm event, or a 5.2-acre wet detention pond to handle the treatment volume plus a 1.09 million cubic foot concrete vault and pump system to handle the attenuation requirements. A system of that type and size simply uses too much valuable, developable land for drainage purposes.

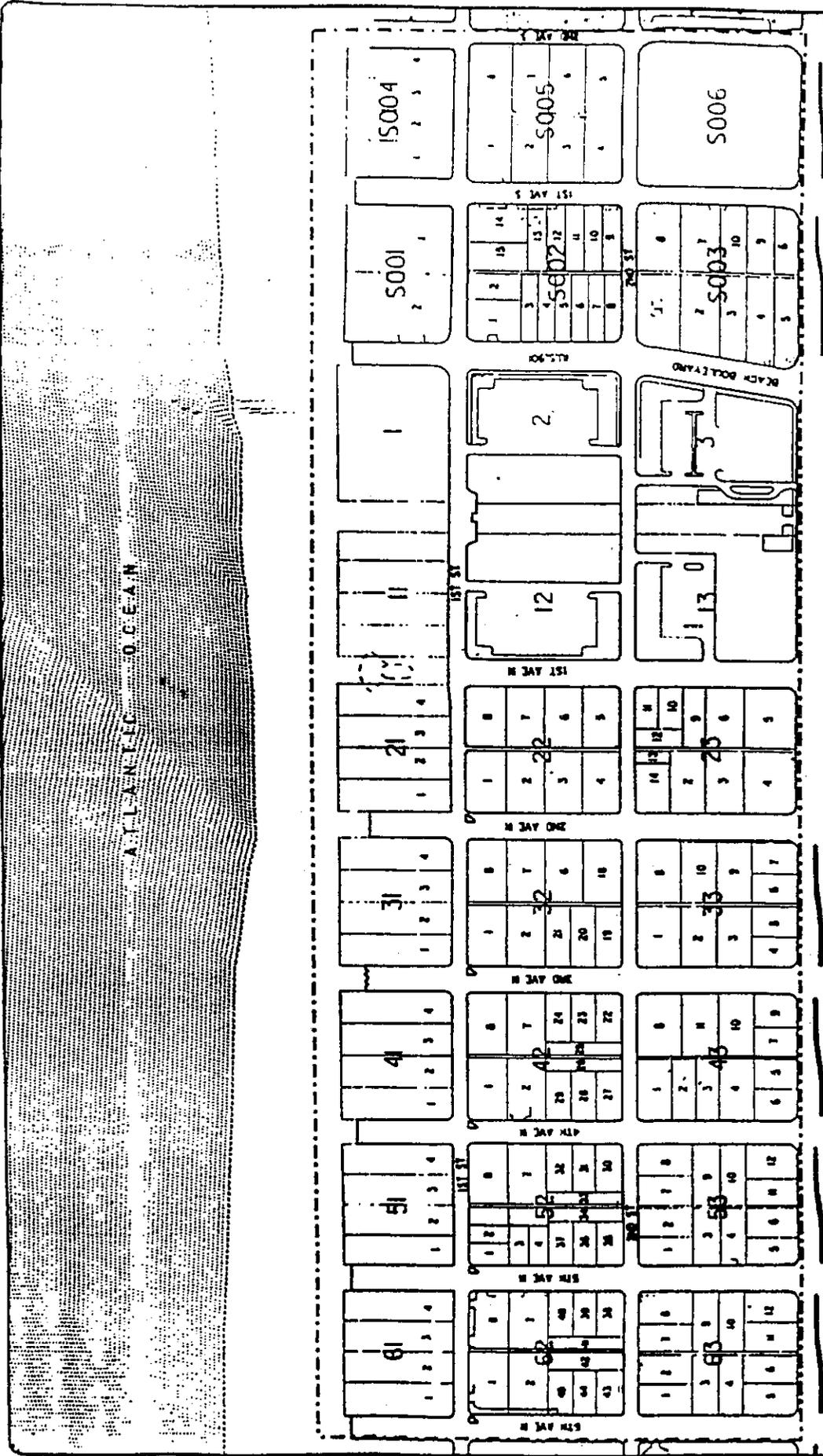
Therefore, it is now our intent to resolve the stormwater management needs of the project area by increasing the size of two ponds on the City-owned golf course to provide the needed wet detention pond area. This storage area will be coupled with a smaller 255,000 cubic foot concrete vault and pump facility to move the runoff to the golf course. The vault is sized to hold about 25 percent of the treatment volume required for the design storm event.

Under this design solution, it is possible that the vault capacity will not be adequate to prevent some minor backup in the stormwater collection system for short periods. The wet detention ponds are designed to meet the state-mandated, Water Management District enforced criteria for the 25-year, 24-hour storm event. When calculations are made using Water Management criteria, some street flooding is expected when the 5-year, 24-hour event is attained, although the pump system is designed to recover in a relatively short period.

### STORMWATER MANAGEMENT SYSTEM COST ESTIMATE

	Unit	Unit Cost	Quantity	Total Cost
<b>STORM DRAINAGE COLLECTION SYSTEM:</b>				
15" RCP Class III	LF	19.65	1,328	\$26,095
18" RCP Class III	LF	18.31	1,140	20,873
24" RCP Class III	LF	27.36	2,658	72,723
30" RCP Class III	LF	38.76	1,084	42,016
36" RCP Class III	LF	53.63	564	30,247
42" RCP Class III	LF	66.00	1,175	77,550
48" RCP Class III	LF	63.70	450	28,665
54" RCP Class III	LF	75.89	636	48,266
60" RCP Class III	LF	83.00	117	5,229
Type B Catch Basin	EA	1,400.00	2	2,800
Florida DOT Type 4 Manhole - Top Only	EA	1,000.00	7	7,000
Curb Inlets	LF	1,600.00	61	97,600
Double Curb Inlets	EA	2,000.00	20	40,000
Storm Manhole (Junction Box)	EA	1,600.00	18	28,800
Florida DOT Type 2 Manhole	EA	2,000.00	7	14,000

	Unit	Unit Cost	Quantity	Total Cost
Collection System Subtotal				\$541,865
<b>STORMWATER PUMPING SYSTEM:</b>				
Reinforced Concrete Vault	LS			\$1,562,420
Pumps:				
4-40 HP Pumps plus Auxiliary 7.5 HP Pump	LS			200,000
Electrical	LS			161,000
Station Piping	LS			105,100
30" Stormwater Force Main, Fittings, Bore and Jack	LF	91.75	6,545	600,504
Off-site Wet Detention Ponds:				
Pond Excavation - Material Placement On-site <sup>1</sup>	CY	3.00	0	0
Pond Excavation & Removal of Material <sup>2</sup>	CY	3.00	0	0
Sodding <sup>3</sup>	SY	3.00	0	0
Remove & Replace Golf Cart Path	SY	13.00	61	793
36" RCP	LF	60.00	1,340	80,400
Florida D.O.T. Type E Inlet	EA	2,000.00	2	4,000
Fine Grading <sup>4</sup>	SY	0.12	0	0
Pavement Patch	SY	2.00	117	234
6' Temporary Fencing	LF	6.25	600	3,750
Generator Building	LS			25,392
Outfall System				
36" MES	EA	650.00	3	1,950



LEGEND

--- PROJECT LIMITS

--- LOT NUMBER

--- BLOCK NUMBER

23

360 ST GARD NORTH

360 ST GARD SOUTH

SCALE 1" = 40 FT

Figure 1

LOT AND BLOCK PLAN

PAVING, DRAINAGE, WATER & SEWER IMPROVEMENTS  
 DOWNTOWN REDEVELOPMENT AREA  
 CITY OF JACKSONVILLE, FLORIDA

DATE	DESCRIPTION

**RSH**  
 Reynolds, Smith and Hills Inc.  
 ENGINEERS, ARCHITECTS AND PLANNERS  
 JACKSONVILLE, FLORIDA

	Unit	Unit Cost	Quantity	Total Cost
Sand Cement Rip Rap	CY	2.00	8	16
Manhole	EA	1,600.00	4	6,400
U-Shaped Concrete Endwall	EA	4,200.00	1	4,200
<b>Pump System Subtotal</b>				<b>\$2,756,159</b>
<b>STORMWATER SYSTEM TOTAL</b>				<b>\$3,298,024</b>

\*Project components eliminated as a result of the exchange of fill dirt with Adventure Island amusement project developer.

### ROADWAY DEMOLITION AND RECONSTRUCTION

Due to the extensive utility work proposed for the project area, it will be necessary to resurface all of the affected streets in the 64-acre site. Roadway reconstruction involves modifications to the street cross-section, on-street parking layout, and lighting. Planning for the infrastructure improvement program for the project area includes a streetscaping component. A pilot area which includes the area bounded by 1st Avenue North, 2nd Street, 3rd Avenue North and 1st Street has been selected for installation of extensive streetscape improvements, including landscaping and street furniture. Similar improvements will be installed throughout the project area as funding permits.

The costs listed below only cover the work related to restoring the streets and sidewalks following the installation of the utility facilities.

### ROADWAY DEMOLITION AND RECONSTRUCTION COST ESTIMATE

	Unit	Unit Cost	Quantity	Total Cost
<b>GENERAL:</b>				
R.O.W. Demolition & Removal	LS			\$193,500
Pavement Demolition & Removal	SY	5.00	48,696	243,480
Driveway Demolition & Removal	SY	10.60	2,990	31,694
Storm Drainage Pipe Removal	LF	10.00	5,196	51,960
Sanitary Sewer Pipe Removal	LF	7.20	3,095	22,284
Water Pipe Removal	LF	6.50	9,135	59,378

	Unit	Unit Cost	Quantity	Total Cost
<b>General Subtotal</b>				<b>\$602,296</b>
<b>ROADWAY SYSTEM:</b>				
<b>New Pavement:</b>				
1.5" Asphaltic Concrete	SY	2.50	42,234	\$108,084
6" Limerock Base (Rework)	SY	1.70	48,691	82,775
Sub-base Compaction	SY	1.40	48,691	68,168
Pavers	SF	3.60	38,012	136,841
Concrete Driveways	SY	20.00	4,956	99,122
Concrete Valley Gutter Curbs	LF	7.00	5,023	35,162
Type F Curb and Gutter	LF	5.00	33,832	169,160
24" Solid Stop Bar Pavement Marking	LF	3.15	558	1,758
Parking Space Striping	LF	0.12	4,813	578
Handicap Parking Space Marking	EA	2.50	19	48
<b>Signage:</b>				
Stop Signs R1-1	EA	120.00	35	4,200
Speed Limit R2-1	EA	100.00	58	5,800
Street Name	EA	100.00	35	3,500
Wheelstops	EA	40.00	223	8,920
5' Sidewalks	SY	13.00	12,339	160,401
Seeding & Mulching	SY	0.07	24,189	1,693
<b>Roadway System Subtotal</b>				<b>\$886,207</b>
<b>ROADWAY RECONSTRUCTION TOTAL</b>				<b>\$1,488,503</b>

### PROJECT COST SUMMARY

The following table shows the total cost for the complete infrastructure improvement project.

### COST SUMMARY

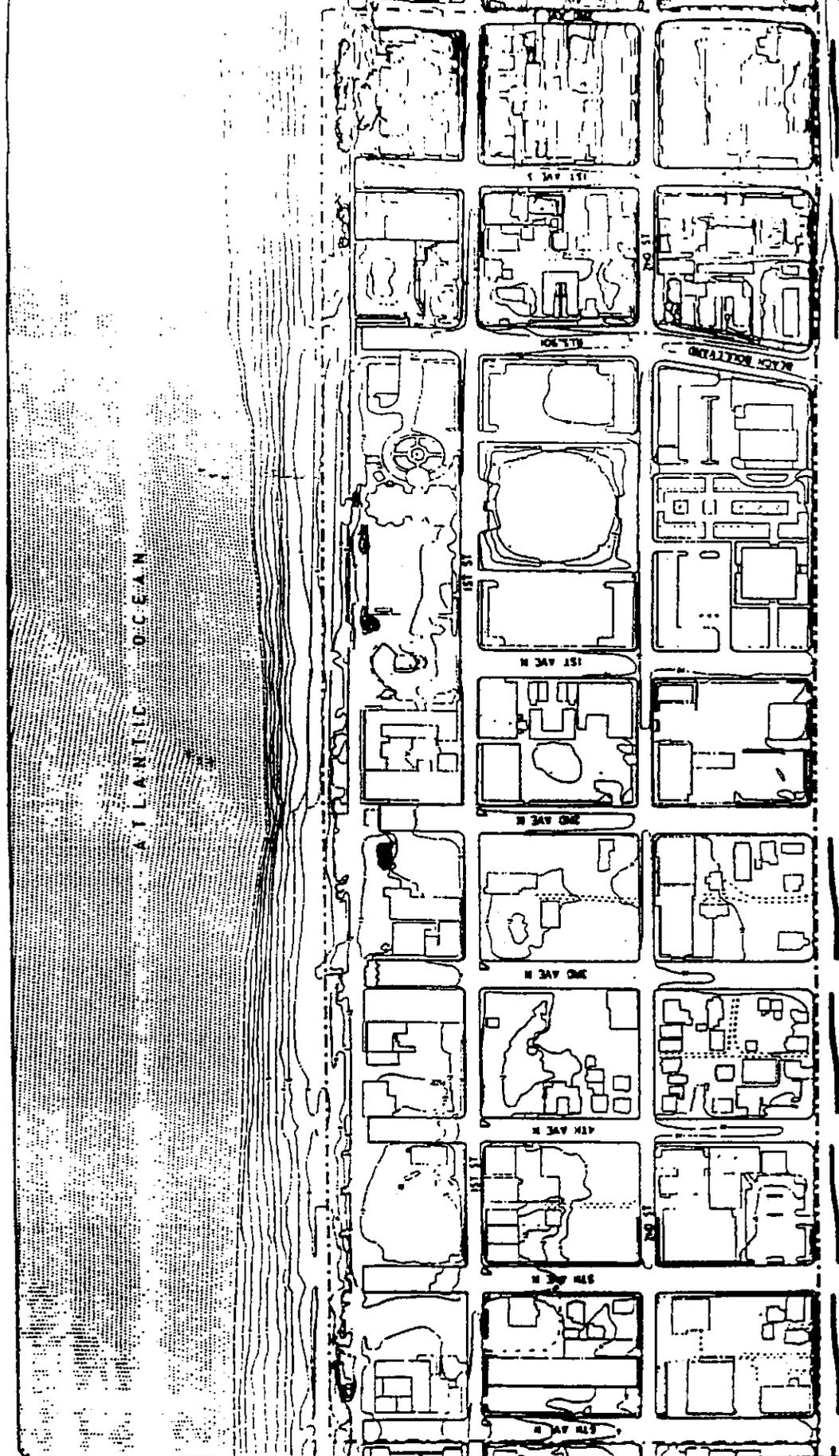
PROJECT COMPONENT	TOTAL COST
Water System Improvements	\$ 295,199
Wastewater System Improvements	673,467
Storm Drainage Collection System Improvements	541,865
Stormwater Pumping System Construction	2,756,159
General Demolition and Site Restoration	602,296
Roadway and Sidewalk Reconstruction	886,207
Streetscape Improvements (Landscaping, Lighting, Seating, Etc.)	325,359
<b>SUBTOTAL</b>	<b>\$6,080,552</b>
Mobilization (5%)	\$ 304,028
Erosion Control (2%)	121,611
Contingencies (5%)	304,028
<b>GRAND TOTAL</b>	<b>\$ 6,810,218</b>

For budgetary purposes, the project has been subdivided into three sections. The base project includes the area from Beach Boulevard to 4th Avenue North from 3rd Street (S.R. A1A) to the Atlantic Ocean bulkhead. The two alternate areas are from 4th Avenue North to 6th Avenue North; and from Beach Boulevard to 2nd Avenue South.

A breakdown in the estimated cost of each of the component parts of the project follows:

Project Section	Cost
Base Project -- Beach Boulevard to 4th Avenue North from 3rd Street to the Atlantic Ocean bulkhead	<b>\$5,475,331</b>
Additional Area #1 -- 4th Avenue North to 6th Avenue North from 3rd Street to the Atlantic Ocean bulkhead	<b>608,814</b>
Additional Area #2 -- Beach Boulevard to 2nd Avenue South from 3rd Street to the Atlantic Ocean bulkhead	<b>726,073</b>
<b>Project Total</b>	<b>\$6,810,218</b>

10/10/10



ATLANTIC OCEAN

340 ST 1414 SOUTH

340 ST 1414 NORTH



LEGEND

--- ALLEYWAYS

Figure 2

TOPOGRAPHIC MAP

PAVING, DRAINAGE, WATER & SEWER IMPROVEMENTS  
 DOWNTOWN REDEVELOPMENT AREA  
 CITY OF JACKSONVILLE, FLORIDA

DATE	DESCRIPTION

**HSH**  
 Reynolds, Smith and Hills Inc.  
 ENGINEERING, ARCHITECTURE AND PLANNING  
 JACKSONVILLE, FLORIDA

DATE: 10/10/10

Introduced by: Councilman Marsden  
Adopted: May 20, 1996

RESOLUTION NO. 1492-96

A RESOLUTION MODIFYING A COMMUNITY REDEVELOPMENT PLAN FOR THE DOWNTOWN REDEVELOPMENT AREA FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, ACCORDING TO THE REQUIREMENTS OF THE COMMUNITY REDEVELOPMENT ACT WITH REGARD TO LAND USES FOR CERTAIN CITY-OWNED PARCELS; AND FOR OTHER PURPOSES.

WHEREAS, on January 19, 1987, the City Council of the City of Jacksonville Beach, Florida adopted a plan for redevelopment of certain lands within the city limits of the City of Jacksonville Beach pursuant to an act of the Legislature of the State of Florida duly enacted as the Community Redevelopment Act as amended; and

WHEREAS, the redevelopment of said lands was found to be necessary in the interest of public health, safety, and welfare of the residents of Jacksonville Beach, and in the interest of carrying out the intent of the Florida Legislature, as expressed in the Community Redevelopment Act, as amended, by revitalizing the area economically and socially, improving the tax base, promoting sound growth, and providing improved quality of life; and

WHEREAS, the City of Jacksonville Beach is contemplating the sale of certain portions of its land within the Downtown Redevelopment Area for development by private entities; and

WHEREAS, it is deemed to be desirable for the proposed land uses for the city land to be reflected in the community redevelopment plan for the Downtown Redevelopment Area; and

WHEREAS, F.S. Section 163.361 provides that if anytime after the approval of a community redevelopment plan by the governing body, it becomes necessary or desirable to amend or modify such plan, the governing body may amend or modify such plan upon recommendation of the Community Redevelopment Agency, the publishing of a notice, and the holding of a public hearing, and

WHEREAS, the Jacksonville Beach Community Redevelopment Agency, has made such a recommendation by Resolution 96-5, as amended, passed April 22, 1996, and

WHEREAS, the City Council has considered the recommended improvement project and has held a public hearing on the recommended change after

public notice thereof by publication in a newspaper having a general circulation in the area of operation of the Agency.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JACKSONVILLE BEACH, FLORIDA:

SECTION 1. The Jacksonville Beach Downtown Community Redevelopment Plan dated January 1987 (the Plan) is modified as to the land uses proposed for the City-owned properties designated as Parcel A-1, A-2, B-1, B-2, B-3, C-1, C-2 and C-3 on the attached map labeled Exhibit A. A copy of the Exhibit A has been present in the meeting room during the Public Hearing and during the presentation of this resolution, and a copy of which is on file and available for public inspection in the offices of the Jacksonville Beach Community Redevelopment Agency, 222 1st Avenue North, Jacksonville Beach, Florida.

SECTION 2. The parcels shown on Exhibit A may be used for the following purposes:

- (A) *Permitted uses.* The following uses are permitted as of right on the parcels shown on Exhibit A.
- (1) Bakery products manufacturing, in conjunction with the retail sale of the bakery products on the same site.
  - (2) Jewelry manufacturing, in conjunction with the retail sale of the jewelry on the same site.
  - (3) Travel agencies.
  - (4) Retail trade establishments as follows: building materials, hardware and garden supplies; general merchandise stores; apparel and accessory stores; home furniture, furnishing and equipment stores; restaurants; drug stores; florists; tobacco stands and newsstands; optical goods stores; and miscellaneous retail goods.
  - (5) Financial institutions, insurance and real estate offices.
  - (6) Hotels and motels.
  - (7) Personal service establishments as follows: photographic studios; beauty and barber shops; shoe repair shops and shoeshine parlors; tax preparation services; and miscellaneous personal services.
  - (8) Business service establishments as follows: advertising; business and consumer credit reporting and collections; mailing reproduction, commercial art and photography and stenographic services; personnel supply; computer programming,

data processing and other computer services; and miscellaneous business services.

- (9) Automotive rental and leasing.
  - (10) Automobile parking.
  - (11) Motion picture theaters, except drive-in.
  - (12) Dance studios and schools.
  - (13) Amusement and recreation service establishments as follows: physical fitness facilities; coin operated amusement devices; or membership sports and recreation clubs.
  - (14) Business and professional offices as follows: landscape architect; building contractors and subcontractors (no storage of vehicles, equipment, or materials); doctors, dentists and miscellaneous health offices and clinics; legal services; and engineering, architecture, accounting, research management and related services.
  - (15) Child day care services.
  - (16) Museums and art galleries.
  - (17) Membership organizations, except religious organizations.
  - (18) Government uses.
  - (19) Public parks, playgrounds, and recreational facilities.
  - (20) Libraries.
  - (21) Essential public services.
- (B) *Conditional uses.* The following uses are permitted as conditional uses on the parcels shown on Exhibit A, subject to the standards and procedures established in Chapter 34, Article 6, Division 4 Conditional Uses of the Code of Ordinances for Jacksonville Beach, Florida.
- (1) Handbag and other personal leather goods manufacturing in conjunction with the retail sale of the finished product on the same site.
  - (2) Bar, lounge, nightclub, tavern or other drinking place.
  - (3) Amusement parks.

## RESOLUTION NO. 96-5

[as amended]

A RESOLUTION RECOMMENDING THAT THE CITY COUNCIL FOR THE CITY OF JACKSONVILLE BEACH MODIFY THE COMMUNITY REDEVELOPMENT PLAN FOR THE DOWNTOWN REDEVELOPMENT AREA FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, ACCORDING TO THE REQUIREMENTS OF THE COMMUNITY REDEVELOPMENT ACT WITH REGARD TO THE PERMITTED, PERMISSIBLE AND ACCESSORY LAND USES PROPOSED FOR THE CITY-OWNED LANDS DESCRIBED IN EXHIBIT A AND MADE A PART HERETO; AND FOR OTHER PURPOSES.

WHEREAS, on January 19, 1987, the City Council of the City of Jacksonville Beach, Florida adopted a plan for redevelopment of certain lands within the city limits of the City of Jacksonville Beach pursuant to an act of the Legislature of the State of Florida duly enacted as the Community Redevelopment Act as amended; and

WHEREAS, the redevelopment of said lands was found to be necessary in the interest of public health, safety, and welfare of the residents of Jacksonville Beach, and in the interest of carrying out the intent of the Florida Legislature, as expressed in the Community Redevelopment Act, as amended, by revitalizing the area economically and socially, improving the tax base, promoting sound growth, and providing improved quality of life; and

WHEREAS, the City Council of the City of Jacksonville Beach is contemplating the sale of certain portions of its land within the Downtown Redevelopment Area for development by private entities; and

WHEREAS, it is deemed to be desirable for the proposed land uses for the city land to be reflected in the community redevelopment plan for the Downtown Redevelopment Area; and

WHEREAS, F.S. Section 163.361 provides that if anytime after the approval of a community redevelopment plan by the governing body, it becomes necessary or desirable to amend or modify such plan, the governing body may amend or modify such plan upon

recommendation of the Community Redevelopment Agency, the publishing of a notice, and the holding of a public hearing,

NOW, THEREFORE, BE IT RESOLVED BY THE JACKSONVILLE BEACH COMMUNITY REDEVELOPMENT AGENCY:

SECTION 1. The Jacksonville Beach Community Redevelopment Agency recommends that the Jacksonville Beach Downtown Community Redevelopment Plan dated January 1987 (the Plan) be modified as to the land uses proposed for the City-owned properties designated as Parcel A-1, A-2, B-1, B-2, B-3, C-1, C-2 and C-3 on the attached map labeled Exhibit A. A copy of the Exhibit A is on file and available for public inspection in the offices of the Jacksonville Beach Community Redevelopment Agency, 222 1st Avenue North, Jacksonville Beach, Florida.

SECTION 2. The Jacksonville Beach Community Redevelopment Agency recommends that the parcels shown on Exhibit A may be used for the following purposes:

- (A) *Permitted uses.* The following uses are permitted as of right on the parcels shown on Exhibit A.
- (1) Bakery products manufacturing, in conjunction with the retail sale of the bakery products on the same site.
  - (2) Jewelry manufacturing, in conjunction with the retail sale of the jewelry on the same site.
  - (3) Travel agencies.
  - (4) Retail trade establishments as follows: building materials, hardware and garden supplies; general merchandise stores; apparel and accessory stores; home furniture, furnishing and equipment stores; restaurants; drug stores; florists; tobacco stands and newsstands; optical goods stores; and miscellaneous retail goods.
  - (5) Financial institutions, insurance and real estate offices.
  - (6) Hotels and motels.

- (7) Personal service establishments as follows: photographic studios; beauty and barber shops; shoe repair shops and shoeshine parlors; tax preparation services; and miscellaneous personal services.
- (8) Business service establishments as follows: advertising; business and consumer credit reporting and collections; mailing reproduction, commercial art and photography and stenographic services; personnel supply; computer programming, data processing and other computer services; and miscellaneous business services.
- (9) Automotive rental and leasing.
- (10) Automobile parking.
- (11) Motion picture theaters, except drive-in.
- (12) Dance studios and schools.
- (13) Amusement and recreation service establishments as follows: physical fitness facilities; coin operated amusement devices; or membership sports and recreation clubs.
- (14) Business and professional offices as follows: landscape architect; building contractors and subcontractors (no storage of vehicles, equipment, or materials); doctors, dentists and miscellaneous health offices and clinics; legal services; and engineering, architecture, accounting, research management and related services.
- (15) Child day care services.
- (16) Museums and art galleries.
- (17) Membership organizations, except religious organizations.
- (18) Government uses.
- (19) Public parks, playgrounds, and recreational facilities.

(20) Libraries.

(21) Essential public services.

(B) *Conditional uses.* The following uses are permitted as conditional uses on the parcels shown on Exhibit A, subject to the standards and procedures established in Chapter 34, Article 6, Division 4 Conditional Uses of the Code of Ordinances for Jacksonville Beach, Florida.

(1) Handbag and other personal leather goods manufacturing in conjunction with the retail sale of the finished product on the same site.

(2) Bar, lounge, nightclub, tavern or other drinking place.

(3) Amusement parks.

(4) Miscellaneous amusement and recreation services.

(C) *Accessory uses.* The following uses are permitted as accessory uses in the CBD zoning district.

(1) Any use customarily accessory to the permitted or conditional uses in the CBD zoning district.

**SECTION 3.** The Jacksonville Beach Community Redevelopment Agency further recommends that the boundary lines for the Parcels shown on Exhibit A be permitted to be modified as needed or required to provide an adequate building site for the type of land use proposed to be developed. A parcel affected by such modification shall not be reduced in size to be rendered useless for any other purpose.

**SECTION 4.** The Jacksonville Beach Community Redevelopment Agency further recommends that upon application for and approval of a rezoning of any of the parcels referenced herein and shown on Exhibit A, such development may be carried out according to the provisions of the Redevelopment District: RD zoning district standards set forth in the current Land Development Code for the City of Jacksonville Beach.

SECTION 5. This Resolution shall take effect upon its passage.

AUTHENTICATED this 22nd day of April, 1996.

APPROVED:

JACKSONVILLE BEACH COMMUNITY  
REDEVELOPMENT AGENCY

Cindy A. Laquidara  
Cindy A. Laquidara, Agency  
Attorney

Raymond Fisher  
Raymond Fisher, Chairman

ATTEST:

Steven G. Lindorff  
Steven G. Lindorff, Agency  
Administrator

(SEAL)

I hereby certify that the foregoing is a true and correct copy of a resolution adopted the members of the Jacksonville Beach Community Redevelopment Agency on the 22 day of April, 1996.

STATE OF FLORIDA  
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 22nd day of April, 1996, by Steven G. Lindorff, who is personally known to me.



NANCY J. PYATTE  
COMMISSION # CC423957  
EXPIRES DEC. 1, 1998  
ALAN NOTARY SERVICE  
1-800-486-8040

Nancy J. Pyatte

Print Name: NANCY J. PYATTE

Notary Public, State and County Aforesaid

My Commission Expires: 12/1/98

Serial No., if any: CC 423957

3RD STREET NORTH - STATE ROAD A-1-A

5
4
3
2
1

# EXHIBIT 'A'

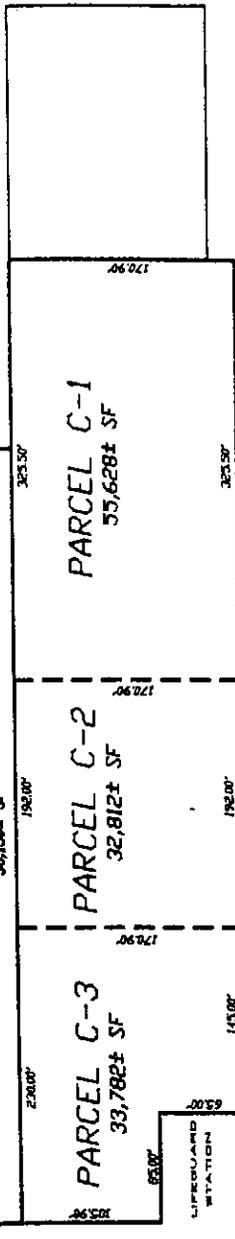
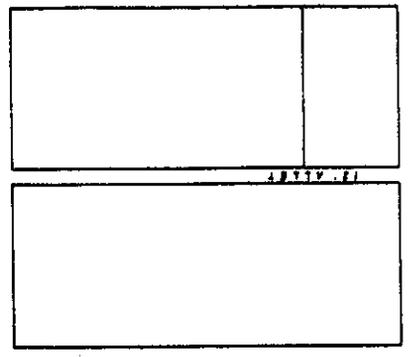
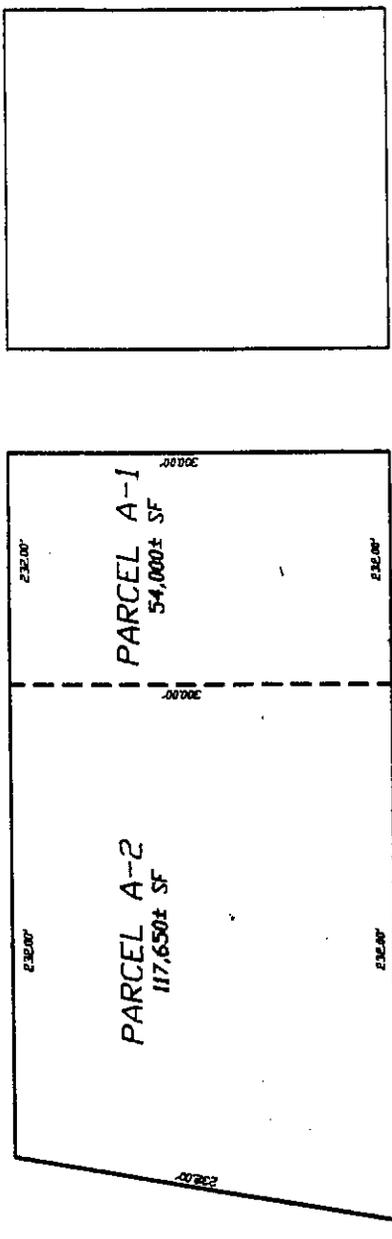
CITY OF JACKSONVILLE BEACH  
 PLANNING AND DEVELOPMENT DEPT.  
 SCALE: NONE DATE: 04-05-1996

--- = LOCATION TO BE DETERMINED

**NOTE:**  
 EXHIBIT 'A' IS FOR ILLUSTRATIVE PURPOSES ONLY. IT IS SUBJECT TO MODIFICATION ACCORDING TO AN EXACT SURVEY AND FINAL PARCEL BOUNDARIES.

8
7
6
5
4
3
2
1

2
1



2ND STREET NORTH

PEDESTRIAN/SERVICE DRIVE

LIFEGUARD STATION

MEAN HIGH WATERLINE

ATLANTIC OCEAN

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

Introduced by: Councilman Marsden  
Adopted: July 16, 1990

A RESOLUTION AMENDING A RESOLUTION APPROVING A COMMUNITY REDEVELOPMENT PLAN FOR THE DOWNTOWN REDEVELOPMENT AREA FOR THE CITY OF JACKSONVILLE BEACH, FLORIDA, IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMMUNITY REDEVELOPMENT ACT OF 1969, AS AMENDED; MAKING CERTAIN FINDINGS AND DETERMINATIONS, CHANGING PERMITTED USE; DIRECTING THE JACKSONVILLE BEACH COMMUNITY REDEVELOPMENT AGENCY TO EXERCISE ITS POWERS UNDER SAID ACT TO IMPLEMENT THE PLAN; AND FOR OTHER PURPOSES.

WHEREAS, on January 19, 1987, the City Council of the City of Jacksonville Beach, Florida adopted a plan for the redevelopment of certain lands within the city limits of the City of Jacksonville Beach pursuant to an act of the Legislature of the State of Florida duly enacted as the Community Redevelopment Act of 1969 as amended, codified as F.S. Section 163.330 through F.S. Section 163.450, and

WHEREAS, the redevelopment of said lands was found to be necessary in the interest of public health, safety, and welfare of the residents of Jacksonville Beach, and in the interest of implementing the intent of the Florida Legislature, as expressed in the Community Redevelopment Act of 1969, as amended, by revitalizing the area economically and socially, improving the tax base, promoting sound growth, and providing improved quality of life; and

WHEREAS, F.S. Section 163.361 provides that if at any time after the approval of a community redevelopment plan by the governing body it becomes necessary or desirable to amend or modify such plan, the governing body may amend such plan upon recommendation of the Community Redevelopment Agency.

WHEREAS, the Jacksonville Beach Community Redevelopment Agency, established by Ordinance No. 6950 adopted on March 20, 1978, and delegated thereto certain powers and duties pursuant to the Community Redevelopment Act of 1969, as amended, has found that the proposed development of certain lands within the Downtown Redevelopment Area will require certain non-governmental use in areas currently designated for governmental use and has recommended that such non-governmental use be permitted in such area of the Downtown Redevelopment Area; and

WHEREAS, the City Council has considered the recommended change and has held a public hearing on the recommended change after public notice thereof by publication in a newspaper having a general circulation in the area of operation of the Agency, as required by the Community Redevelopment Act of 1969, as amended.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JACKSONVILLE BEACH, FLORIDA:

SECTION 1. The Redevelopment Plan for the Downtown Redevelopment Area prepared by Wallace, Roberts & Todd, dated November 12, 1986, and duly approved and adopted by the City Council ("Community Redevelopment Plan"), is hereby amended by providing that the portion of the Downtown Redevelopment Area previously designated for governmental use and more particularly described in Exhibit A attached hereto, may be developed and operated for non-governmental purposes as part of the multi-use project contemplated under that certain Development and Acquisition Agreement with SeaCentre Associates reviewed and approved by the Jacksonville Beach Community Redevelopment Agency and approved by the City Council of the City of Jacksonville Beach on July 16, 1990 by Ordinance No. 7464.

A RESOLUTION AMENDING A RESOLUTION APPROVING A COMMUNITY REDEVELOPMENT  
PLAN FOR THE DOWNTOWN REDEVELOPMENT AREA

EXHIBIT A

All of blocks 3 and 13, and the closed alleys lying within said blocks, together with that part of the now closed Pablo Avenue, being bounded on the east by 2nd Street North and on the west by 3rd Street North (State Road 1A), as shown on the plat of Pablo Beach North as recorded in Plat Book 3 Page 28 of the current public records of Duval County, Florida, together with Lots 1 through 7, as shown on the plat of Flagler Tract as recorded in Plat Book 15 Page 50 of said current public records. Containing 171,758 square feet or 3.943 acres, more or less and lying in the City of Jacksonville Beach, Florida.

All of Block 12 and a closed alley lying within said block, together with that part of the now closed Pablo Avenue, being bounded on the east by 1st Street North and the west by 2nd Street North, and part of that certain unnumbered block, being bound on the east by 1st Street North and on the south by Beach Boulevard (Mundy Drive by plat, State Road No. 90), and bound on the west by 2nd Street North, as shown on the plat of Pablo Beach North as recorded in Plat Book 3 Page 28 of the current public records of Duval County, Florida. Containing 181,200 square feet or 4.160 acres, more or less, and lying in the City of Jacksonville Beach, Florida.

All of Lots 2, 3, and 4, together with the south 13.00 feet of Lot 1, all in Block 11, together with a portion of that certain unnumbered Block, said block being bounded on the east by the public walkway, on the south by Beach Boulevard (Mundy Drive by plat, State Road No. 90), and on the west by 1st Street North, together with that part of the now closed Pablo Avenue, said Pablo Avenue being bounded on the east by the public walkway and on the west by 1st Street North, all as shown on the plat of Pablo Beach North, as recorded in Plat Book 3 Page 28 of the current public records of Duval County, Florida, and being more particularly described as follows:

For a point of reference, commence at the northwest corner of said Lot 1, Block 11, said point lying on the east right of way line of said 1st Street North (a 50 foot right of way as now established); thence South  $09^{\circ}44'20''$  East, along said east right of way line, and along the west line of said Lot 1, Block 11, a distance of 52.00 feet to the point of beginning; Thence North  $80^{\circ}15'40''$  East, along a line parallel with and 13.00 feet north of the south line of said Lot 1, Block 11, a distance of 173.11 feet; thence South  $09^{\circ}25'20''$  East, a distance of 132.93 feet; thence south  $09^{\circ}23'24''$  East, a distance of 332.07 feet; thence South  $80^{\circ}14'40''$  West, a distance of 65.00 feet; thence South  $09^{\circ}44'20''$  East, a distance of 85.00 feet to a point along the northerly right of way line of Beach Boulevard (a 100 foot right of way as now established); thence south  $80^{\circ}14'40''$  West, along said north right of way line, a distance of 105.90 feet to an intersection with the east right of way line of said 1st Street North; thence North  $09^{\circ}44'20''$  West, along said east right of way line and west line of said Block 11, a distance of 550.00 feet to the point of beginning. Containing 88,984 square feet or 2.043 acres, more or less, and lying in the City of Jacksonville Beach, Florida.