



# City of Jacksonville Beach

11 North Third Street  
Jacksonville Beach,

## Agenda

### Board of Adjustment

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Tuesday, January 3, 2017

7:00 PM

Council Chambers

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#### **MEMORANDUM TO:**

Members of the Board of Adjustment  
City of Jacksonville Beach, Florida

Board Members:

The following Agenda of Business has been prepared for consideration and action at the Regular Meeting of the Board of Adjustment.

#### **CALL TO ORDER**

#### **ROLL CALL**

Scott Cummings (Chairperson), John Moreland (Vice-Chairperson), Thomas Buck, Sylvia Osewalt, Jeff Truhlar,  
Alternates: Francis Reddington, Chase Sams

#### **EX-PARTE COMMUNICATION**

#### **APPROVAL OF MINUTES**

#### **CORRESPONDENCE**

**OLD BUSINESS**

**a. Case Number: BOA 16-100197**  
 Applicant TH&R, LLC  
 Agent: John Denneen  
 Owner: Rabih Tawk  
 Property Address: 320 South 5<sup>th</sup> Avenue  
 Parcel ID: 175973-0000  
 Current Zoning: C-1 (to RM-1 Standards, PC#32-16)  
 Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-339(e)(1)c.2., for side yards of 7.5 feet, each in lieu of 10 feet required; and 34-339(e)(1)f., for 45% lot coverage in lieu of 35% maximum, to allow construction of a new two-family dwelling for **property legally described** as Lot 4, Block 54, *Pablo Beach South*.  
 Miscellaneous Info: One previous variance request, (BOA#04-100156) and one conditional use request (PC#32-16).

Notes: \_\_\_\_\_

**b. Case Number: BOA 16-100198**  
 Applicant JWB Construction Group, LLC  
 Agent: Alex Sifakis  
 Owner: BCEL 4, LLC  
 Property Address: 417 South 11<sup>th</sup> Street  
 Parcel ID: 177348-0000  
 Current Zoning: RM-1  
 Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-339(e)(1)c.1., for a front yard setback of 18 feet, in lieu of 20 feet required for second story balconies only; 34-339(e)(1)c.2., for 6 foot side yards, each in lieu of 10 feet required; 34-339(e)(1)c.3., for a rear yard setback of 16 feet, in lieu of 30 feet required; and for 34-339(e)(1)f., for 49% lot coverage in lieu of 35% maximum, to allow construction of a new two-family dwelling for **property legally described** as Lot 10, Block 12, *Beach Heights Subdivision*.  
 Miscellaneous Info: No previous variance requests.

Notes: \_\_\_\_\_

- c. **Case Number:** BOA 16-100199  
 Applicant: JWB Construction, Inc.  
 Agent: Alex Sifakis  
 Owner: BCEL 5, LLC  
 Property Address: 333 South 5<sup>th</sup> Avenue  
 Parcel ID: 175900-0000  
 Current Zoning: C-1 (to RM-1 Standards, PC#13-16)  
 Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-339(e)(1)c.2., for side yards of 7.5 feet, in lieu of 10 feet required; and 34-339(e)(1)f., for 44.7% lot coverage, in lieu of 35% maximum, to allow for construction of a new two-family dwelling for **property legally described as Lot 8, Block 44, Pablo Beach South.**  
  
 Miscellaneous Info: No previous variance requests.

Notes: \_\_\_\_\_

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**NEW BUSINESS**

- a. **Case Number:** BOA 16-100206  
 Applicant/Owner: Robert O. and Lorene R. Johnson  
 Property Address: 115 South 36<sup>th</sup> Avenue  
 Parcel ID: 181467-0000  
 Current Zoning: RS-1  
 Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-336(e)(1)c.1., for a front yard setback of 20 feet in lieu of 25 feet required; 34-336(e)(1)c.2., for an easterly side yard of 9.9 feet, in lieu of 10 feet required, 34-336(e)(1)e., for 47% lot coverage, in lieu of 35% maximum, to allow an addition to an existing single-family dwelling for **property located at 115 South 36<sup>th</sup> Avenue, legally described as Lot 18, Block 4, Atlantic Shores, Ocean Front Section, Division A.**  
  
 Miscellaneous Info: No previous variance requests.

Notes: \_\_\_\_\_

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**b. Case Number: BOA 16-100207**

Applicant/Owner: Jonathan Beckham  
Property Address: 3244 Pullian Court  
Parcel ID: 180926-0000  
Current Zoning: RS-2

Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-337(e)(1)e., for 52% lot coverage in lieu of 35% maximum; (43% lot coverage approved via prior variance, BOA 06-100024) to allow a pool and pool deck addition to an existing single-family dwelling for **property located** at 3244 Pullian Court, **legally described** as Lot 9, Block 12, *Jacksonville Beach Heights*.

Miscellaneous Info: No previous variance requests.

Notes: \_\_\_\_\_  
\_\_\_\_\_

**c. Case Number: BOA 16-100208**

Applicant: Brian Phillips  
Owner: DB&B Investments, LLC  
Property Address: 335 South 5<sup>th</sup> Avenue  
Parcel ID: 175899-0000  
Current Zoning: C-1 (RM-1 by conditional use approval, (PC#36-16).

Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-339(e)(1)c.1., for a front yard setback of 14 feet in lieu of 20 feet required; 34-339(e)(1)c.2., for 7.5 feet side yards, in lieu of 10 feet required; 34-339(e)(1)f., for 50% lot coverage in lieu of 35% maximum; and 34-339(e)(1)h., for accessory structure setback of 2.5 feet, in lieu of 5 feet required, to allow construction of a new two family dwelling, for **property located** at 335 South 5<sup>th</sup> Avenue, **legally described** as Lot 7, Block 44, *Pablo Beach South*.

Miscellaneous Info: No previous variance requests, one conditional use request (PC#36-16).

Notes: \_\_\_\_\_  
\_\_\_\_\_

- d. **Case Number:** BOA 16-100211
- Applicant: Starfish Group Properties, Inc.
- Owner: Fred A. Cattar
- Agent: Drew Cromer
- Property Address: 1304 North 4<sup>th</sup> Street
- Parcel ID: 174675-0000
- Current Zoning: RM-1
- Motion to Approve: **City of Jacksonville Beach Land Development Code Section(s):** 34-339(e)(4)c.3., for a rear yard setback of 10 feet in lieu of 30 feet required; 34-339(e)(4)h., for accessory structure (driveways) setbacks of 2.5 feet, in lieu of 5 feet required; to allow construction of a new three-unit townhouse development for **property located** at 1304 North 4<sup>th</sup> Street, **legally described** as *Lot 8, Block 135, Pablo Beach North*.
- Miscellaneous Info: One previous variance request, (BOA#16-100173).

Notes: \_\_\_\_\_

**PLANNING DEPARTMENT REPORT**

The next scheduled meeting is **Wednesday, January 18, 2017**. There are three scheduled cases.

**ADJOURNMENT**

**NOTICE**

*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

*The public is encouraged to speak on issues on this Agenda that concern them. Anyone who wishes to speak should submit the request to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience.*

*In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (904) 247-6299, extension 10, no later than one business day before the meeting.*



# APPLICATION FOR VARIANCE

BOA No. 116-100197  
HEARING DATE 12-6-2016

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, to scale (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of **\$250.00** (due at the time of application submittal).
5. Completed application.

RECEIVED  
OCT 25 2016

PLANNING & DEVELOPMENT

### APPLICATION INFORMATION

**Applicant Name:** TH&R LLC **Telephone:** (904) 864-7390  
**Mailing Address:** 129 Lanplighter Lane **E-Mail:** thrlc@gmail.com  
Ponte Vedra Bch 32082

**Agent Name:** John Denneen **Telephone:** (904) 237-4598  
**Mailing Address:** 1254 neck rd **E-Mail:** john@denneenconstruction.com  
Ponte vedra bch

**Landowner Name:** Rabih Tawk (also TH&R, LLC) **Telephone:** (904) 864-7390  
**Mailing Address:** 129 Lamplighter Lane **E-Mail:** \_\_\_\_\_  
Ponte Vedra, FL 32004

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and/or Real Estate Number: 320 5th ave s 175973 0000  
 Legal description of property (Attach copy of deed): lot 4 block 54 of Pablo Beach South See attached Deed  
 Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). applicant is requesting front set back of 25 feet to 20 feet side set back from 10 feet to 7.5 feet and lot coverage of 35% to 45% Hardship is lot is non conforming per squarefoot requirements Aplicant would like to build Townhome the same as 817/819 811/809 803/801 5th ave south witch the Board granted variance requested

Applicant's Signature: R TAWK Date of Application: 10/25/16

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: C-1 (to RM-1 standards) FLOOD ZONE: X  
P6 32-16

CODE SECTION (S):  
34-339(e)(1) C-2 for side yards of 7.5', each in lieu of 10' required;  
(e)(1) f. for 45% lot coverage, in lieu of 35% maximum  
to allow construction of a new two-family dwelling

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. 16-108197

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	NO	RECEIVED  2016  PLANNING & DEVELOPMENT
Special circumstances and conditions do not result from the actions of the applicant.	YES	
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	NO	
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	YES	
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	YES	
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	YES	

To Whom It May Concern:

RECEIVED

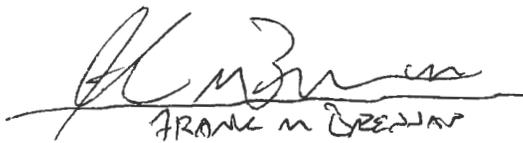
October 21, 2016

OCT 25 2016  
16-100197  
PLANNING & DEVELOPMENT

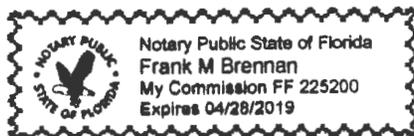
This is to authorize Mr John Denneen to represent the owners of TH&R LLC in all matters related to the attached application for Variance that is filed with the City of Jacksonville Beach for the land on 5<sup>th</sup> ave defined as Lot 4, block 54, Pablo Beach South, as recorded in Plat Book 3, page 28 of the public records of Duval County Florida.

Thanks for your help, should you have any further questions, please do not hesitate to contact me at 904 864 7390 or at [thnrlc@gmail.com](mailto:thnrlc@gmail.com).

Rabih Tawk



FRANK M BRENNAN



Sworn to before me this 22<sup>nd</sup> day of  
October, 2016 by Rabih Tawk  
who produced FL DL 70 as identification.

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Prepared by and return to:

Sandy English  
Ponte Vedra Title, LLC  
50 A1A North, Suite 108  
Ponte Vedra Beach, FL 32082

OCT 25 2016

16-100197

PLANNING & DEVELOPMENT

File Number: PVT131089

(Space Above This Line For Recording Data)

## Warranty Deed

This Warranty Deed made this 3<sup>rd</sup> day of January, 2014, between Henley & Barson, LLC, a Florida limited liability company whose post office address is 1605 Ocean Pond Court, Jacksonville Beach, FL 32250, grantor, and TH&R, LLC, a Florida Limited Liability Company whose post office address is 129 Lamplighter Lane, Ponte Vedra Beach, FL 32082, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Duval County, Florida, to-wit:

Lot 4, Block 54 of PABLO BEACH SOUTH, according to the Plat thereof as recorded in Plat Book 3, Page(s) 28, of the Public Records of Duval County, Florida.

Parcel Identification Number: 1759730000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

SUBJECT TO covenants, conditions, restrictions, easements of record and taxes for the current year.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except as specified herein.

Said property described in this instrument is not the constitutional homestead of the Grantee(s) under the laws and constitution of the State of Florida in that neither Grantee(s) or any members of the household of Grantee(s) reside thereon.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Timothy Shippee  
Witness 1 Signature

Timothy Shippee  
Witness 1 Printed Name

Henley & Barson, LLC

Daniel Barley  
Daniel Barley, Managing Member

Jolyn Clark  
Witness 2 Signature

Jolyn Clark  
Witness 2 Printed Name

State of FL

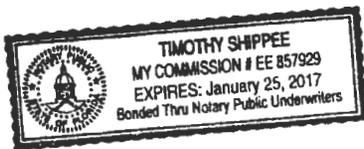
County of St. Johns

The foregoing instrument was acknowledged before me this 3<sup>rd</sup> day of January, 2013, by Daniel Barley, Managing Member of HENLEY & BARSON, LLC, A FLORIDA LIMITED LIABILITY COMPANY, on behalf of the Corporation, she ( ) is personally known to me or ( ) has produced valid D.C. as identification.

Timothy Shippee  
Notary Public

Printed Name: Timothy Shippee

My Commission Expires: \_\_\_\_\_



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OCT 25 2016

16-100197

PLANNING & DEVELOPMENT



Ref. POA# 16-100197

**CERTIFIED MAIL RECEIPT# 7012 2210 0002 4628 9798**

October 11, 2016

John Denneen  
1254 Neck Road  
Ponte Vedra Beach, FL 32082

RE: **Planning Commission Case: PC# 32-16**  
**Conditional Use Application** for a new two-family dwelling unit in C-1,  
located at 320 5<sup>th</sup> Avenue South.

Mr. Denneen,

The City of Jacksonville Beach Planning Commission met on Monday, October 10, 2016 in Council Chambers to consider your **Conditional Use Application** for a new two family dwelling located in a *Commercial, limited: C-1* zoning district pursuant to Section 34-342(d)(15) of the Jacksonville Beach Land Development Code. The request was Approved.

Please remove the public notices posted on the property.

Should you have any additional questions related to this matter, please feel free to contact our office at (904) 247-6231.

Sincerely,

Heather Ireland, AICP  
Senior Planner

City of  
Jacksonville Beach  
City Hall  
11 North Third Street  
Jacksonville Beach  
FL 32250  
Phone: 904.247.6231  
Fax: 904.247.6107  
Planning@jaxbchfl.net

www.jacksonvillebeach.org





Ref. BOA# 16-100197

ELEVEN NORTH THIRD STREET • JACKSONVILLE BEACH, FLORIDA 32250

May 20, 2004

Eric Henderson  
 Daniel Barley  
 1605 Ocean Pond Ct.  
 Jacksonville Beach, FL 32250

RE: BOA 04-100156  
 320 S. 5<sup>th</sup> Avenue

Dear Mr. Henderson and Mr. Barley:

The Board of Adjustment for the City of Jacksonville Beach met and held a public hearing at 7:00 p.m. on May 18, 2004 to consider your variance application.

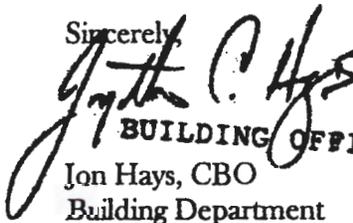
As indicated in the application, the request was for the following:

- 34-377 (b)(11): for 5 parking spaces in lieu of 13 parking spaces required (1/200), to allow for a new commercial building.

The results of the meeting were:

- Denied.

Please remove the public hearing notice posted on your property. If you have any questions regarding this variance, please feel free to call me at (904) 247-6235.

Sincerely,  
  
**BUILDING OFFICIAL**  
 Jon Hays, CBO  
 Building Department

JCH/LP

U.S. Postal Service	
CERTIFIED MAIL RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>	
Article Sent	04-100156 Henderson
Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$</b>
Postmark Here	
Name (Please Print (Yearly) to be completed by mailer)	
Street, Apt. No., or PO Box No.	
City, State, ZIP+4	

7099 3400 0000 1886 2157

# MAP SHOWING SURVEY OF:

LOT 4, BLOCK 54, PABLO BEACH SOUTH, AS RECORDED IN PLAT BOOK 3, PAGE 28, OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

5th AVENUE SOUTH  
80' PUBLIC RIGHT-OF-WAY

APPROXIMATE EDGE OF PAVEMENT

4' CONCRETE SIDEWALK

UTILITY VAULT

POWER POLE

O.U.L.

POWER POLE  
CABLE RISER

(100.00')  
100.04'

(50.00')  
50.01'

4th STREET SOUTH  
50' PUBLIC RIGHT-OF-WAY  
LOT 6

DOWN GUY

11.8'

89°57'06"

90°02'35"

13.9'

4' CHAIN LINK FENCE

FENCE TO LINE

0.7'

LOT 5

(125.00')  
124.83'

4' CHAIN LINK FENCE

VACANT

LOT 3

(125.00')  
124.96'

6' WOOD FENCE

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16-100197

PLANNING & DEVELOPMENT

6' WOOD FENCE

CONCRETE PATIO

PATIO  
2.5' CLEAR

PATIO  
2.8' CLEAR

2.1'

1.7'

90°12'02"

FENCE  
2.2' CLEAR

4' CHAIN LINK FENCE

89°48'17"

0.8'

0.2'

50.00'

12' ALLEY

0.6'

LOT 8

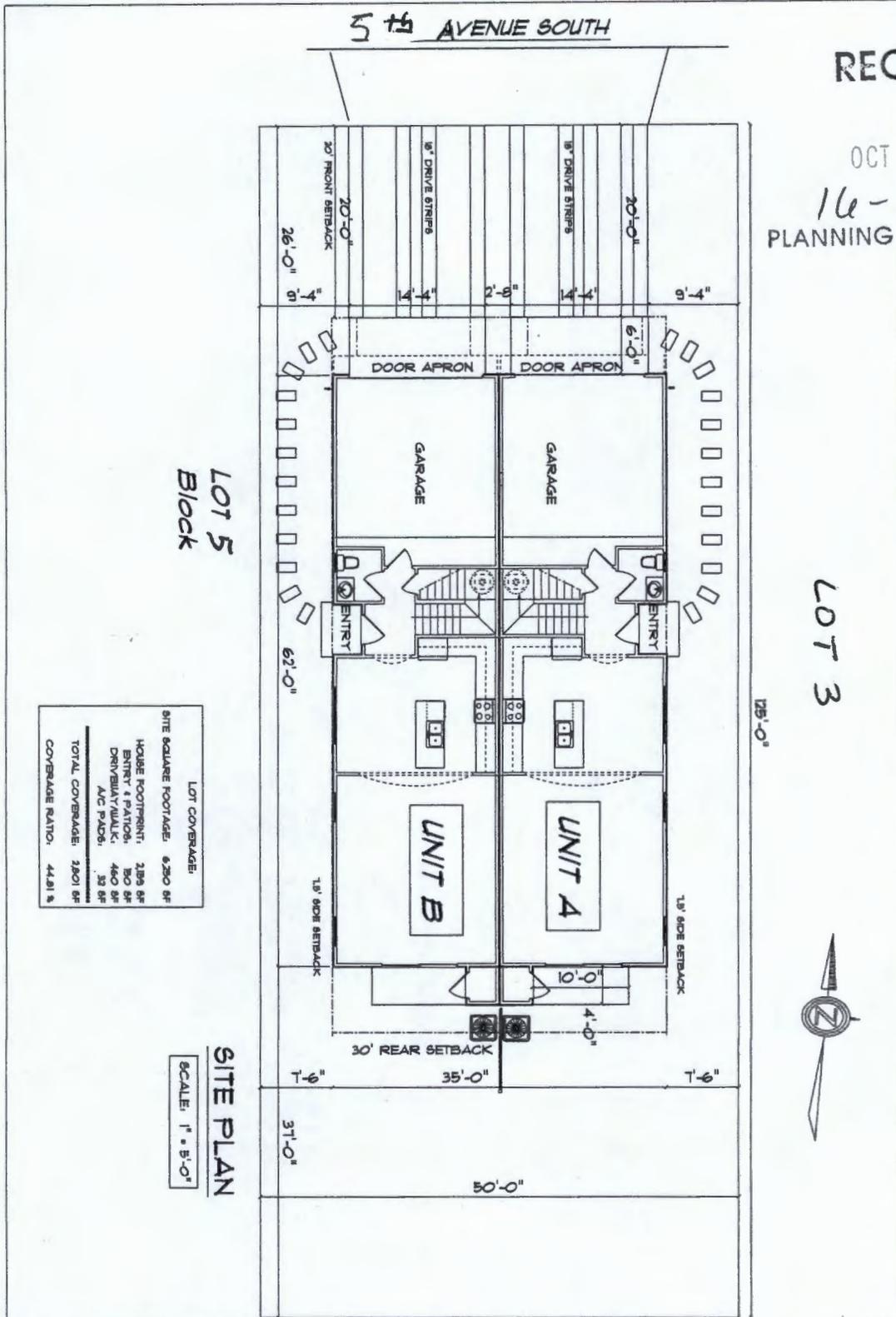
LOT 9

LOT 10

REVISED MARCH 29, 2004  
TO CHANGE CERTIFICATIONS

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 16-100197  
 PLANNING & DEVELOPMENT



LOT 5  
 Block

LOT 3

LOT COVERAGE:	
SITE SQUARE FOOTAGE:	6,280 SF
HOUSE FOOTPRINT:	2,398 SF
ENTRY & PATIOS:	380 SF
DRIVEWAY/WALK:	460 SF
A/C PADS:	38 SF
TOTAL COVERAGE:	3,801 SF
COVERAGE RATIO:	44.81 %

SITE PLAN  
 SCALE: 1" = 5'-0"

SHEET A - 1	TITLE: PLANS Scale: 1/4" = 1'-0" Date: MARCH 28, 2016	<p><b>DAVE MOBBY</b>          Residential Designer          Jacksonville, Florida          910-788-8888</p>	<p><b>LOT 4 BLOCK 54</b>  <b>PABLO Bch South</b></p>	REVISIONS <table border="1"> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>						



# APPLICATION FOR VARIANCE

BOA No. 16-100198

HEARING DATE 12-6-2016

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

## REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, to scale (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of **\$250.00** (due at the time of application submittal).
5. Completed application.

RECEIVED

OCT 25 2016

## APPLICATION INFORMATION

### PLANNING & DEVELOPMENT

**Applicant Name:** JWB Construction Group, LLC **Telephone:** 904-677-6777  
**Mailing Address:** 7563 Phillips Hwy Suite 109 **E-Mail:** newconstruction@jwbcompanies.com  
Jacksonville, FL. 32256

**Agent Name:** Alex Sifakis **Telephone:** 904-677-6777  
**Mailing Address:** 7563 Phillips Hwy Suite 109 **E-Mail:** newconstruction@jwbcompanies.com  
Jacksonville, FL. 32256

**Landowner Name:** BCEL 4, LLC **Telephone:** 904-677-6777  
**Mailing Address:** 7563 Phillips Hwy Suite 109 **E-Mail:** newconstruction@jwbcompanies.com  
Jacksonville FL. 32256

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

## VARIANCE DATA

Street address of property and/or Real Estate Number: 417 11th St S RE# 177348-0000  
 Legal description of property (Attach copy of deed): 18-29 33-2S-29E, Beach Heights S/D, Lot 10 Blk 12  
 Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). This is a non-conforming lot of record sized 42' wide x 100' deep. The current zoning is JRM-1. We are requesting the following variances: -Front yard set back on the second floor of 18' in lieu of the required 20' -Side yards of 6' feet in lieu of the required 10' -Rear yard of 16' in lieu of the required 30' -Lot coverage of 47.8% in lieu of the required 35%

Applicant's Signature: [Signature] Date of Application: \_\_\_\_\_

**THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE**

CURRENT ZONING CLASSIFICATION: Bm-1 FLOOD ZONE: X

CODE SECTION (s): 34-339 (e)(1) c-1 for a front yard setback of 18', in lieu of 20' required; (e)(1) c-2 for 6' side yards, each in lieu of 10' required; (e)(1) c-3 for a rear yard setback of 16' in lieu of 30' required; (e)(1) e for 49% lot coverage in lieu of 35% maximum, to allow construction of a new two-family dwelling

A for 2nd story balconies only

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	YES	RECEIVED OCT 25 2016 16-100198 PLANNING & DEVELOPMENT Non-conforming lot of record with dimensions of 50' X 125'.
Special circumstances and conditions do not result from the actions of the applicant.	YES	No modifications were made to the dimensions of the lot.
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	YES	Granting the variance will allow is to build a structure that is similar to other two family dwellings in Jacksonville Beach.
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	YES	Literal interpretation of the code would prevent the construction of a structure that is in line with the current market demand and general livability.
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	YES	The requested variance is the minimum variance that will allow for the construction of a reasonably sized two-family structure.
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	YES	Granting of the variance will allow for the construction of a structure consistent with other two family dwellings in Jacksonville Beach.

Prepared by and Return to:  
Simon D. Rothstein, Esquire  
Adams, Rothstein & Siegel, P.A.  
4417 Beach Boulevard, Suite 104  
Jacksonville, Florida 32207  
File: 16-0160

**WARRANTY DEED**

**THIS WARRANTY DEED**, made and executed this 7<sup>th</sup> day of April, 2016, by TRACEY MCCUE PAULSEN, as Special Master, pursuant to that Final Judgment of Partition Order dated November 10, 2014 in Case No.: 16-2014-CA-6600, Div.: CV-F, hereinafter called the Grantor, to

BCEL 4, LLC, a Florida limited liability company, whose post office address is: 7563 Phillips Highway, Suite 109, Jacksonville, Florida 32256, hereinafter called the Grantee:

**WITNESSETH:** That the Grantor, for and in consideration of Ten Dollars and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained, and sold to Grantee, Grantee's heirs, successors and assigns, forever, that certain parcel of land located in the County of Duval and State of Florida, more particularly described as:

Parcel Id: 177348-0000

Lot 10, Block 12, Beach Heights, a subdivision according to the plat thereof recorded at Plat Book 18, page 29, in the public records of Duval County, Florida.

**SUBJECT** to covenants, easements, restrictions and reservations of record, reference to which shall not reimpose same, and taxes accruing subsequent to December 31, 2015.

**TOGETHER** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

**AND** the Grantor hereby covenants with said Grantee that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land; that she hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances.

**RECEIVED**

OCT 25  
16-100198  
PLANNING & DEVELOPMENT

IN WITNESS WHEREOF the Grantor has hereunto set her hand and seal the day and year first above written.

SIGNED AND SEALED IN OUR PRESENCE:

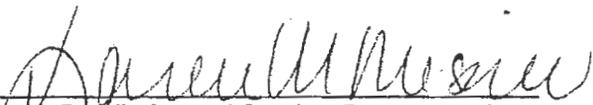
  
Witness KAREN M. MESSICK  
  
Witness SIMON D. ROTHSTEIN

  
TRACEY MCCUE PAULSEN, as Special Master  
Special Master  
Case No.: 16-2014-CA-6600  
Div.: CV-F

STATE OF FLORIDA  
COUNTY OF DUVAL

BEFORE ME personally appeared TRACEY MCCUE PAULSEN, as Special Master pursuant to that Final Judgment of Partition Order dated November 10, 2014 in Case No.: 16-2014-CA-6600, Div.: CV-F, to me well known and known to me to be the individual described in and who executed the foregoing instrument, and acknowledged to and before me that she executed the same for the purposes therein expressed.

WITNESS my hand and official seal this 7<sup>th</sup> day of April, 2016, at County and State aforesaid.

  
Notary Public in and for the County and State Aforesaid.

KAREN M. MESSICK  
Notary Public, State of Florida  
My Comm. Expires Apr. 12, 2019  
Commission No. FF 219630

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# MAP SHOWING BOUNDARY, TOPOGRAPHIC AND TREE SURVEY WITH PLOT PLAN OF

## LOT 10 BLOCK 12 AS SHOWN ON MAP OF BEACH HEIGHTS SUBDIVISION

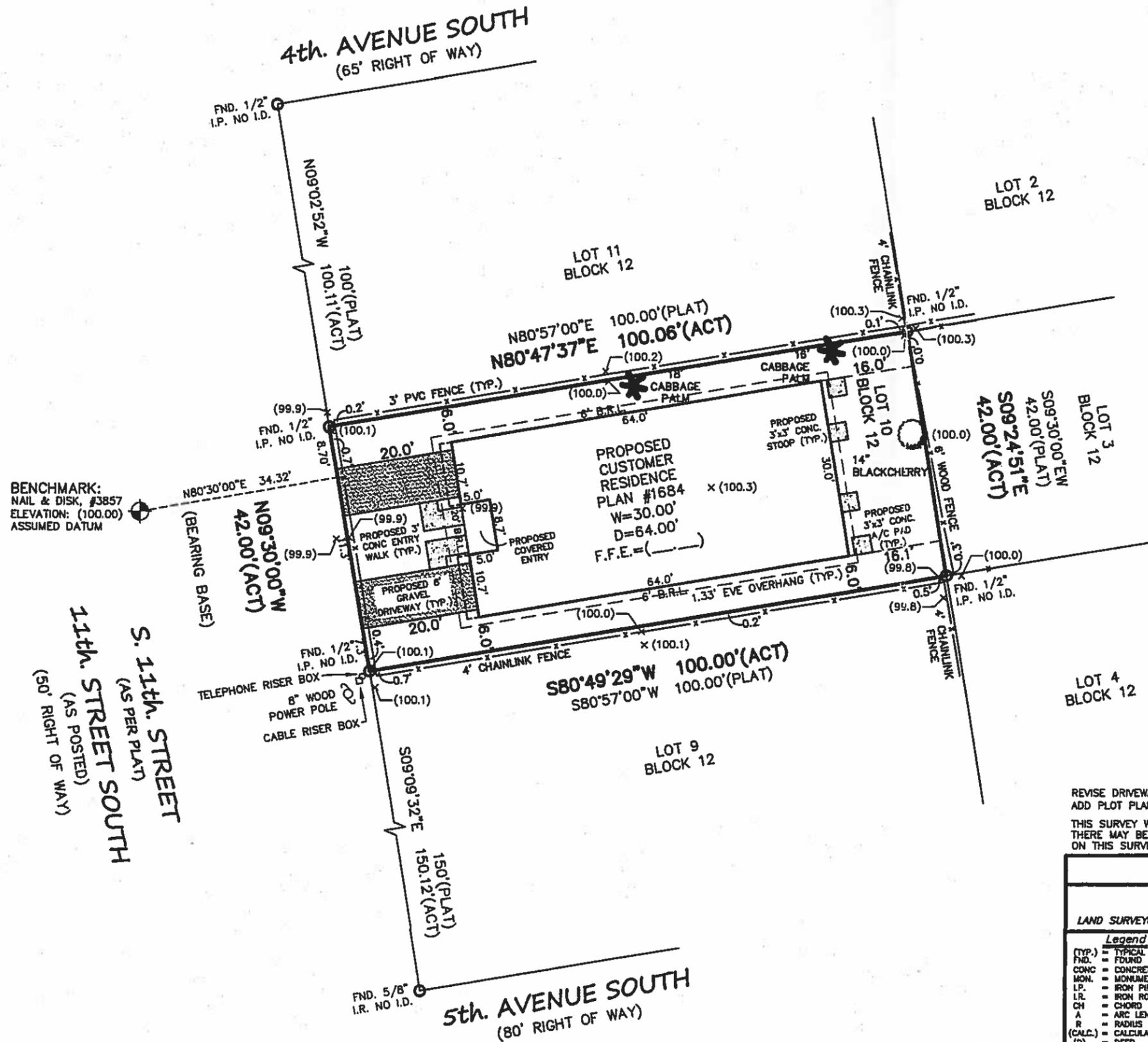
AS RECORDED IN PLAT BOOK 18 PAGE 29 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLA.

CERTIFIED TO: JWB REAL ESTATE CAPITAL

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PLANNING & DEVELOPMENT



NOTE-NO LOT GRADING ENGINEERING PLANS WERE PROVIDED BY THE CLIENT PRIOR TO THIS DRAWING.

DIMENSIONS SHOWN HEREON ARE PER FOUNDATION PLAN

LOT 10, BLOCK 12	PLAN #1684
LOT SIZE	4,201± SQ. FT.
DRIVEWAY TO R/W (GRAVEL)	320± SQ. FT.
ENTRY WALK	53± SQ. FT.
RIGHT-OF-WAY LENGTH	42.00 FT.
TOTAL IMPERVIOUS COVERAGE	2,009± SQ. FT. 48%

REVISE DRIVEWAYS AND ADD STOOPS; 10-18-16 (OFFICE)  
ADD PLOT PLAN; W.O.# 150556; 07-14-16 (OFFICE)

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

**BUILDERS ENDORSEMENT**  
SIGNED: \_\_\_\_\_  
NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_

UNDERGROUND ENCROACHMENTS NOT LOCATED

THE LAND SHOWN HEREON IS IN THE SPECIAL FLOOD HAZARD ZONE "X" AS SHOWN ON FLOOD INSURANCE RATE MAP 0417 H FOR THE CITY OF JACKSONVILLE, FLORIDA, DATED JUNE 03, 2013

### ALL AMERICAN SURVEYORS OF FLORIDA, INC.

LAND SURVEYORS - 3751 SAN JOSE PLACE, SUITE 15 - JACKSONVILLE, FLORIDA, 32257 - 904/279-0088 - LICENSED LAND BUSINESS NO. 3857

<p><b>Legend</b></p> <p>(TYP.) - TYPICAL FND. - FOUND CONC. - CONCRETE MON. - MONUMENT I.P. - IRON PIPE I.R. - IRON ROD CH - CHORD A - ARC LENGTH R - RADIUS (CALC.) - CALCULATED (D) - DEED (P) - PLAT (R) - RADIAL E - CENTER LINE R/W - RIGHT-OF-WAY FENCE - FENCE (W) - WITNESS</p>	<p>P.R.M. - PERMANENT REFERENCE MONUMENT P.T. - POINT OF TANGENCY P.C. - POINT OF CURVE P.R.C. - POINT OF REVERSE CURVE P.C.C. - POINT OF COMPOUND CURVE B.R.L. - BUILDING RESTRICTION LINE F.P.A.L. - FLORIDA POWER &amp; LIGHT A/C - AIR CONDITIONER IDENTIFICATION NGVD - NATIONAL GEODETIC VERTICAL DATUM NAVD - NORTH AMERICAN VERTICAL DATUM P.I. - POINT OF INTERSECTION PVC - POLYVINYL CHLORIDE (100.3) - SPOT ELEVATION</p>	<p>THIS IS TO CERTIFY THAT THE ABOVE LANDS WERE SURVEYED UNDER MY RESPONSIBLE SUPERVISION AND DIRECTION, THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN AND THAT THE SURVEY SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027 / CHAPTER 61G17-6, FLORIDA STATUTES.</p> <p>SURVEY NOT VALID UNLESS EMBOSSED BY SEAL JAMES D. HARRISON, JR., No. 2847 MICHAEL A. GARRETT, No. 6843 DATE 03-23-16 FLORIDA REGISTERED SURVEYOR AND MAPPER</p>	<p>SCALE 1"=20'</p> <p>DATE 03-23-16</p> <p>ALL AMERICAN SURVEYORS OF FLORIDA, INC.</p>
---	---	--	---



# APPLICATION FOR VARIANCE

BOA No. 16-100199

HEARING DATE 12-6-2016

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

## REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, **to scale** (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of **\$250.00** (due at the time of application submittal).
5. Completed application.

**RECEIVED**

OCT 25 2016

## APPLICATION INFORMATION

**Applicant Name:** JWB Construction Group, LLC  
**Mailing Address:** 7563 Phillips Hwy Suite 109  
Jacksonville, FL. 32256  
**Agent Name:** Alex Sifakis  
**Mailing Address:** 7563 Phillips Hwy Suite 109  
Jacksonville, FL. 32256  
**Landowner Name:** BCEL 5, LLC  
**Mailing Address:** 7563 Phillips Hwy Suite 109  
Jacksonville FL. 32256

## PLANNING & DEVELOPMENT

**Telephone:** 904-677-6777  
**E-Mail:** newconstruction@jwbcompanies.com  
**Telephone:** 904-677-6777  
**E-Mail:** newconstruction@jwbcompanies.com  
**Telephone:** 904-677-6777  
**E-Mail:** newconstruction@jwbcompanies.com

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

## VARIANCE DATA

Street address of property and/or Real Estate Number: 333 5th Ave S RE# 175900-0000  
 Legal description of property (Attach copy of deed): 3-28 33-2S-29E, Pablo Beach South, Lot 8 Blk 44  
 Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). This is a non-conforming lot of record sized 50' wide x 125' deep. The current zoning JRC-1. Conditional use for a proposed two family dwelling unit (JMR-1) was approved on 5/9/2016.  
 We are requesting the following variance: -Side yards of 7.5' feet in lieu of the required 10'  
-Lot coverage of 43.7% in lieu of the required 35%

Applicant's Signature: [Signature] Date of Application: \_\_\_\_\_

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: C-1 (to BM-1 standards) FLOOD ZONE: X  
PC # 13-16  
 CODE SECTION (S): 34-339 (EX1) c.2. for side yards of 7.5', in lieu of 10' required;  
(e)(1) for 44-790 lot coverage, in lieu of 35% maximum,  
to allow construction of a new two-family dwelling

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	YES	<p>Non-conforming lot of record with dimensions of 50' X 125'.</p> <p style="text-align: center;"><b>RECEIVED</b> OCT 25 2016 16-100199 PLANNING &amp; DEVELOPMENT</p>
Special circumstances and conditions do not result from the actions of the applicant.	YES	No modifications were made to the dimensions of the lot.
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	YES	Granting the variance will allow is to build a structure that is similar to other two family dwellings in Jacksonville Beach.
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	YES	Literal interpretation of the code would prevent the construction of a structure that is in line with the current market demand and general livability.
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	YES	The requested variance is the minimum variance that will allow for the construction of a reasonably sized two-family structure.
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	YES	Granting of the variance will allow for the construction of a structure consistent with other two family dwellings in Jacksonville Beach.

Prepared by and Return to:  
All Florida Title Services, Inc.  
Laura Riebsame  
4417 Beach Boulevard, Suite 105  
Jacksonville, Florida 32207  
Our File Number: 31146A  
Contract Sales Price: \$150,000.00

For official use by Clerk's office only

STATE OF Florida )  
COUNTY OF Duval )

SPECIAL WARRANTY DEED

THIS INDENTURE, made this January 28, 2016, between Duval Home Buyers, LLC, a Florida limited liability company, whose mailing address is: 1514 Felch Ave., Jacksonville, Florida 32207, party of the first part, and BCEL 5, LLC, whose mailing address is: 7563 Philips Highway Ste 109, Jacksonville, Florida 32256, party/parties of the second part,

WITNESSETH:

First party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, aliens, remises, releases, conveys and confirms unto second party/parties, his/her/their heirs and assigns, the following described property, towit:

Lot 8, Block 44, Pablo Beach South, according to the plat thereof as recorded in Plat Book 3, page 28, of the current public records of Duval County, Florida.

Subject, however, to all covenants, conditions, restrictions, reservations, limitations, easements and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the party of the first part hereby covenants with said party of the second part, that it is lawfully seized of said land in fee simple: that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the party of the first part.

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OCT 25

16-100199

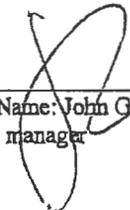
PLANNING & DEVELOPMENT

IN WITNESS WHEREOF, first party has signed and sealed these present the date set forth on January \_\_, 2016.

Signed, sealed and delivered in the presence of:

Duval Home Buyers, LLC

Christyann Alix Burgoyne  
Witness signature  
Christyann Alix Burgoyne  
Print witness name  
C. Highsmith  
Witness signature  
Christy Highsmith  
Print witness name

By:   
Print Name: John Germaine  
Title: manager

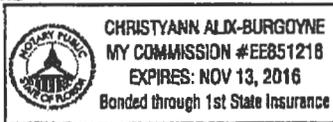
State of Florida  
County of Duval

THE FOREGOING INSTRUMENT was acknowledged before me this 20 day of January, 2016 by John Germaine, manager on behalf of Duval Home Buyers, LLC who is personally known to me or who has produced Drivers License as identification.

Christyann Alix Burgoyne  
Notary Public  
Christyann Alix Burgoyne  
Print Notary Name

My Commission Expires: 11/13/16

Notary Seal



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16-100199  
PLANNING & DEVELOPMENT



CERTIFIED MAIL RECEIPT# 7012 2210 0002 4628 7862

May 13, 2016

Lisandro Rosales  
7563 Philips Highway Suite 109  
Jacksonville, FL 32256

RE: **Planning Commission Case PC#13-16**  
333 5<sup>th</sup> Avenue South

**Conditional Use Application** for a proposed two family dwelling unit located in a *Commercial, limited: C-1* zoning district, pursuant to Section 34-342(d)(15) of the Jacksonville Beach Land Development Code.

Dear Mr. Rosales,

The City of Jacksonville Beach Planning Commission met on Monday, May 9, 2016 in Council Chambers to consider your Conditional Use Application for a proposed two family dwelling unit located in a *Commercial, limited: C-1* zoning district, pursuant to Section 34-342(d)(15) of the Jacksonville Beach Land Development Code. The request was **Approved**.

Please remove the public notices posted on the property.

Should you have any additional questions related to this matter, please feel free to contact our office at (904) 247-6231.

Sincerely,

Heather Ireland, AICP  
Senior Planner

**RECEIVED**

OCT 25 2016

16-100199  
PLANNING & DEVELOPMENT

City of

Jacksonville Beach

City Hall

11 North Third Street

Jacksonville Beach

FL 32250

Phone: 904.247.6231

Fax: 904.247.6107

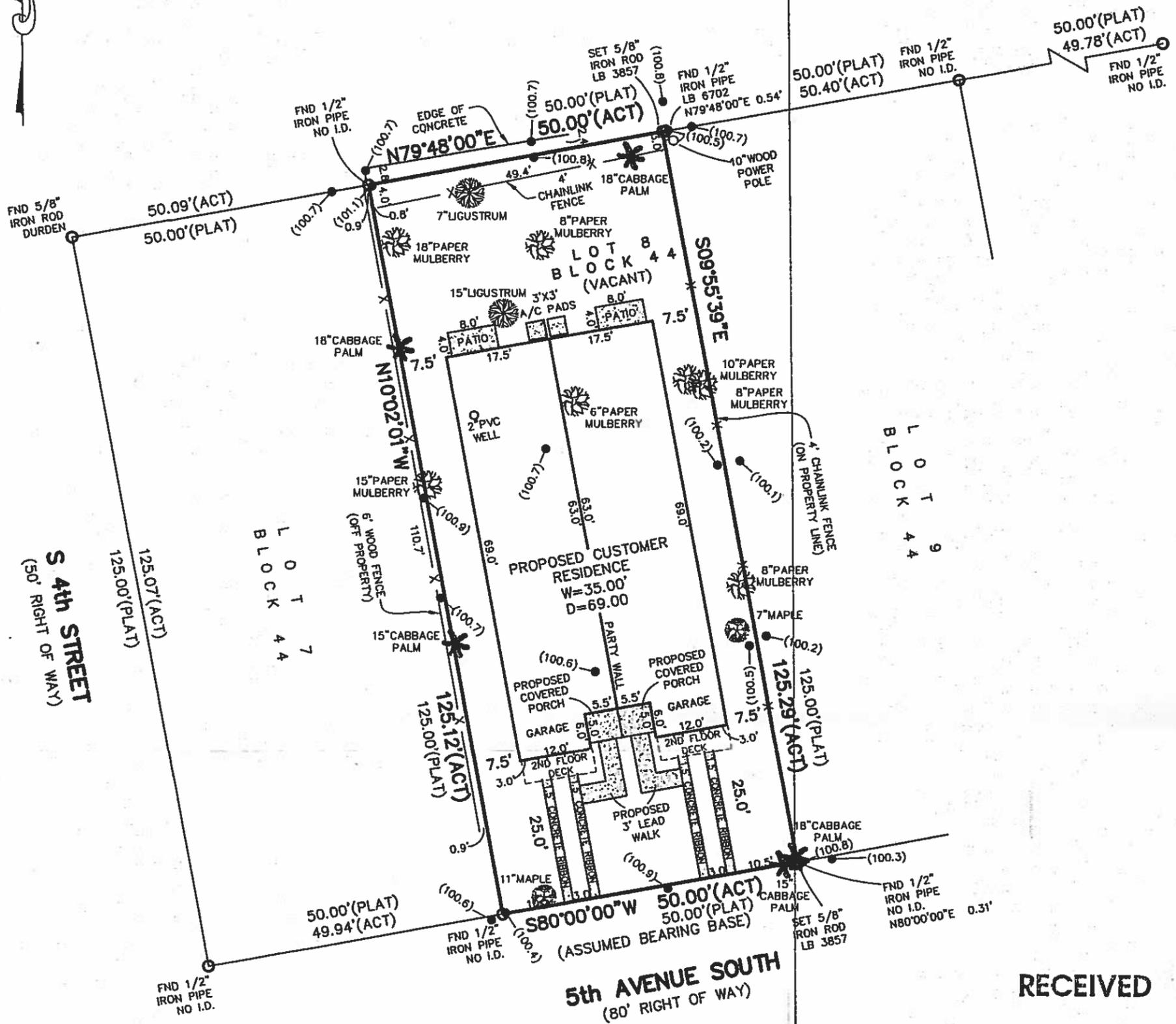
Planning@jaxbchfl.net

www.jacksonvillebeach.org



# MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY WITH PLOT PLAN OF LOT 8, BLOCK 44 AS SHOWN ON PLAT OF PABLO BEACH

AS RECORDED IN PLAT BOOK 3, PAGES 28 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA  
CERTIFIED TO: JWB REAL ESTATE CAPITAL



LOT 8	PLAN #2041
LOT SIZE	6,313± SQ. FT.
DRIVEWAY TO R/W	150± SQ. FT.
ENTRY WALK	86± SQ. FT.
APPROXIMATE SIDEWALK	0± SQ. FT.
RIGHT-OF-WAY LENGTH	50 FT.
TOTAL IMPERVIOUS AREA	2,724± SQ. FT. 43%

**BENCHMARK:**  
SET NAIL & DISK  
LB 3857 IN  
FRONT OF THIS LOT  
ELEVATION: 100.00 (ASSUMED)

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OCT 25  
16-100199  
PLANNING & DEVELOPMENT

**BUILDERS ENDORSEMENT**  
SIGNED: \_\_\_\_\_  
NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_

DENOTES CONCRETE

UNDERGROUND ENCROACHMENTS NOT LOCATED

THE LOT SHOWN HEREON IS IN THE SPECIAL FLOOD HAZARD ZONE "X" AS SHOWN  
ON FLOOD INSURANCE RATE MAP 0417 H FOR THE CITY OF JACKSONVILLE, FLORIDA, DATED 06-03-13

## ALL AMERICAN SURVEYORS OF FLORIDA, INC.

LAND SURVEYORS - 3751 SAN JOSE PLACE, SUITE 15 - JACKSONVILLE, FLORIDA, 32257 - 904/279-0088 - LICENSED LAND BUSINESS NO. 3857

FND. = FOUND	A/C = AIR CONDITIONER
ESM'T = EASEMENT	I.D. = IDENTIFICATION
CONC = CONCRETE	(TYP.) = TYPICAL
MON. = MONUMENT	P.R.M. = PERMANENT REFERENCE MONUMENT
I.P. = IRON PIPE	P.T. = POINT OF TANGENCY
I.R. = IRON ROD	P.C.P. = PERMANENT CONTROL POINT
Δ = DELTA ANGLE	P.C. = POINT OF CURVE
CH = CHORD	P.R.C. = POINT OF REVERSE CURVE
A = ARC LENGTH	P.C.C. = POINT OF COMPOUND CURVE
R = RADIUS	B.R.L. = BUILDING RESTRICTION LINE
(CALC.) = CALCULATED	F.P.&L. = FLORIDA POWER & LIGHT
(D) = DEED	JEA = JACKSONVILLE ELECTRIC AUTHORITY
(P) = PLAT	NGVD = NATIONAL GEODETIC VERTICAL DATUM
(R) = RADIAL LINE	NAVD = NORTH AMERICAN VERTICAL DATUM
E = CENTER LINE	P.I. = POINT OF INTERSECTION
R/W = RIGHT-OF-WAY	
ACT = ACTUAL	

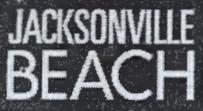
THIS IS TO CERTIFY THAT THE ABOVE LANDS WERE SURVEYED UNDER MY RESPONSIBLE SUPERVISION AND DIRECTION, THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN AND THAT THE SURVEY SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027 / CHAPTER 61G17-6, FLORIDA STATUTES.

SURVEY NOT VALID UNLESS EMBOSSED BY SEAL  
JAMES D. HARRISON, JR., No. 2647  
BOB L. PITTMAN, No. 4827

SCALE 1"=20'



*Bob L. Pittman 3-29-16*



# APPLICATION FOR VARIANCE

BOA No. 16-100206

HEARING DATE 01/03/17

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

## REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, to scale (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of **\$250.00** (due at the time of application submittal).
5. Completed application.

RECEIVED

NOV 14 2016

PLANNING & DEVELOPMENT

## APPLICANT INFORMATION

Applicant Name: BOB AND LORENE JOHNSON Telephone: 904-249-7750  
 Mailing Address: 115 36<sup>th</sup> AVE SO E-Mail: ANNIELOREN@AOL.COM  
JACKSONVILLE BEACH, FL 32250

Agent Name: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Landowner Name: ROBERT O. AND LORENE R. JOHNSON Telephone: 904-249-7750  
 Mailing Address: 115 36<sup>th</sup> AVE SO E-Mail: ANNIELOREN@AOL.COM  
JACKSONVILLE BEACH, FL 32250

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

Ret# 181467-0000

## VARIANCE DATA

Street address of property and/or Real Estate Number: 115 36<sup>th</sup> Ave SO, Jacksonville Beach

Legal description of property (Attach copy of deed): LOT 18, BLK 4, ATLANTIC SHORES OCEAN FR.

Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). PURPOSE OF VARIANCE IS TO ALLOW CONSTRUCTION OF

CONVERTING DOWNSTAIRS HALF BATH INTO HANDICAP ACCESSIBLE FULL BATH. GARAGE WOULD NEED TO BE EXTENDED TO ACCOMMODATE BATHROOM EXTENSION AND 2 VEHICLES, ONE BEING A SUBURBAN. FEEL PARKING IN GARAGE WOULD BE SAFER, ~~FOR~~ FOR US, THAN PARKING ON DRIVING

Applicant's Signature: Lorene R Johnson Date of Application: NOV 11, 2016

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: RS-1 FLOOD ZONE: \_\_\_\_\_  
 CODE SECTION (S): 34-336(e)(1)(C).1. for a front yard setback of 20', in lieu of 25' required;  
(e)(1)(C).2. for an easterly side yard of 99', in lieu of 10' required;  
(e)(1)(C). for 47% lot coverage, in lieu of 35% maximum,  
to allow an addition to an existing single-family dwelling.

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. 16-100206

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	YES	
Special circumstances and conditions do not result from the actions of the applicant.	NO	
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	NO	
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	Yes	NO full BATH ON ground FLOOR of 2 story home. HOPE TO "AGE IN PLACE" IN OUR home by having full BATH ACCESSIBLE DOWN-STAIRS-
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	Yes	SI VARIANCE would still provide A DRIVEWAY COMPATIBLE WITH NEIGHBORING DRIVES-
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	Yes	

Doc. St 988  
Sua. 404 330

OFFICIAL RECORDS  
VOL 3200 P 6 153

# Warranty Deed

This instrument prepared by Mary Anne Connor  
Title & Trust Company of Florida  
200 E. Forsyth Street, Jacksonville, Florida

THIS INDENTURE, Made this 29th day of March, A.D. 1971 BETWEEN  
Violet W. Whitehead, a widow  
of the County of Duval, State of Florida, party of the first part, and

Robert O. Johnson and Lorene R. Johnson, his wife, whose post office address  
is: 11629 Marina Drive, Jacksonville, Florida 32216  
of the County of Duval, State of Florida, parties of the second part.

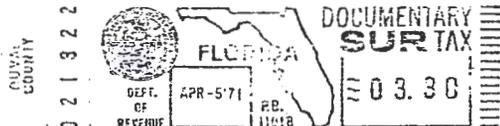
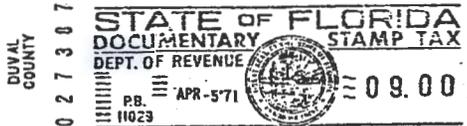
WITNESSETH: That the said party of the first part, for and in consideration of the sum of  
Ten and no/100-----(\$10.00) and OVC -- Dollars,  
to her in hand paid by the said parties of the second part, the receipt whereof is hereby acknow-  
ledged, has granted, bargained and sold to the said parties of the second part,  
their heirs and assigns forever, the following described land, situate, lying and being in the  
County of Duval, State of Florida, to wit:

RECEIVED

Lot Eighteen (18), Block Four (4), ATLANTIC SHORES,  
OCEAN FRONT SECTION, DIVISION A, according to plat  
recorded in Plat Book 14, page 11 of the current public  
records of Duval County, Florida.

SUBJECT TO: Taxes subsequent to December 31, 1970.

NOV 1 1971  
16-100206  
PLANNING & DEVELOPMENT



Returned to: 1716 N. 15th St Jacksonville Beach Florida

And the said party of the first part does hereby fully warrant the title to said land, and will defend  
the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has hereunto set her hand and  
seal the day and year first above written.

SIGNED AND SEALED IN OUR PRESENCE:

*Richard Albrecht* *Violet W. Whitehead* (SEAL)  
Paul [Signature] Violet W. Whitehead (SEAL)

STATE OF FLORIDA } ss.  
COUNTY OF DUVAL }

Before me personally appeared Violet W. Whitehead, a widow

and known to me to be the individual described in and who executed the foregoing instrument, and  
acknowledged to and before me that she executed the same for the purposes therein expressed.

WITNESS my hand and official seal this 30 day of April  
1971, at Jacksonville Beach, County and State aforesaid.

71-16535  
APR 5 9 58 AM '71

FILED AND RECORDED IN PUBLIC  
RECORDS OF DUVAL COUNTY, FLA.  
S. Marya Shingleton  
CLERK OF COUNTY COURT

*Richard Albrecht*  
Notary Public in and for the County and State Aforesaid.  
My commission expires:  
NOTARY PUBLIC, STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES AUGUST 19, 1973  
BONDED BY FRED W. DRESTERLORST

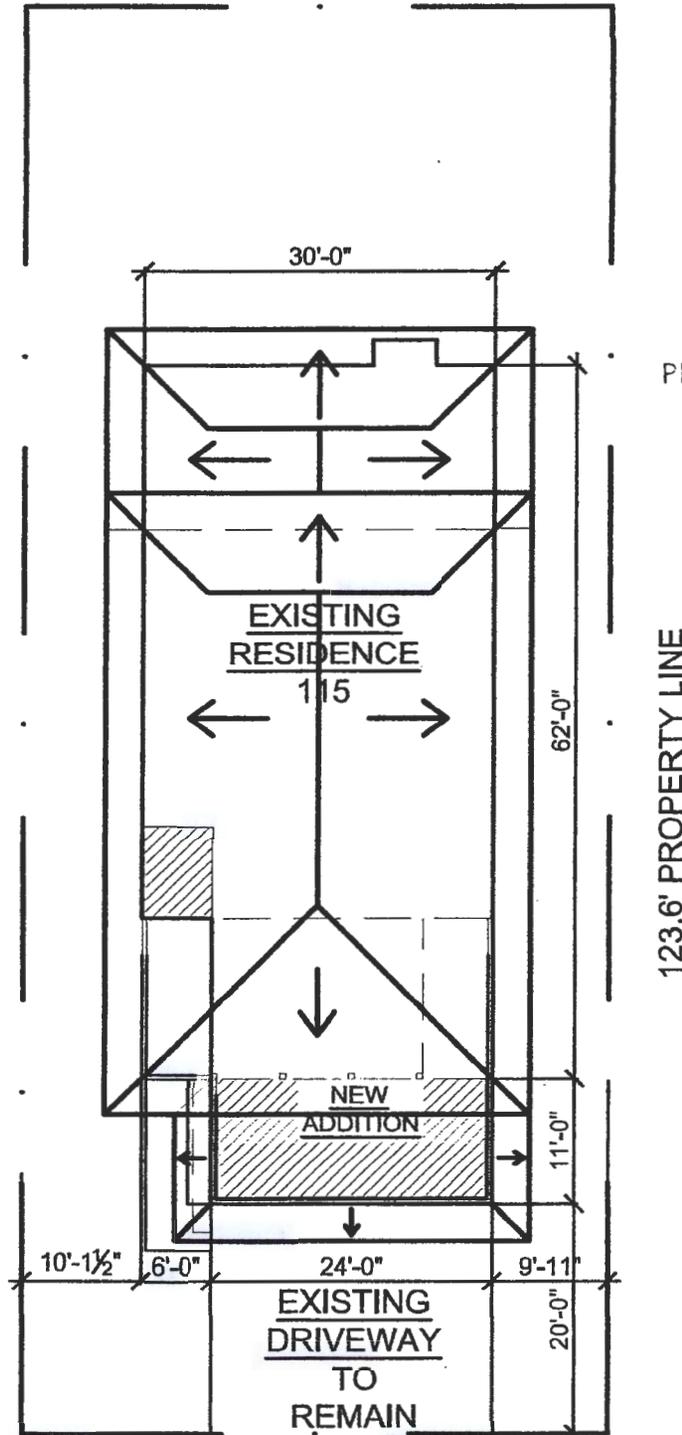
460

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NOV 17 2016

16-100206

PLANNING & DEVELOPMENT



ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"

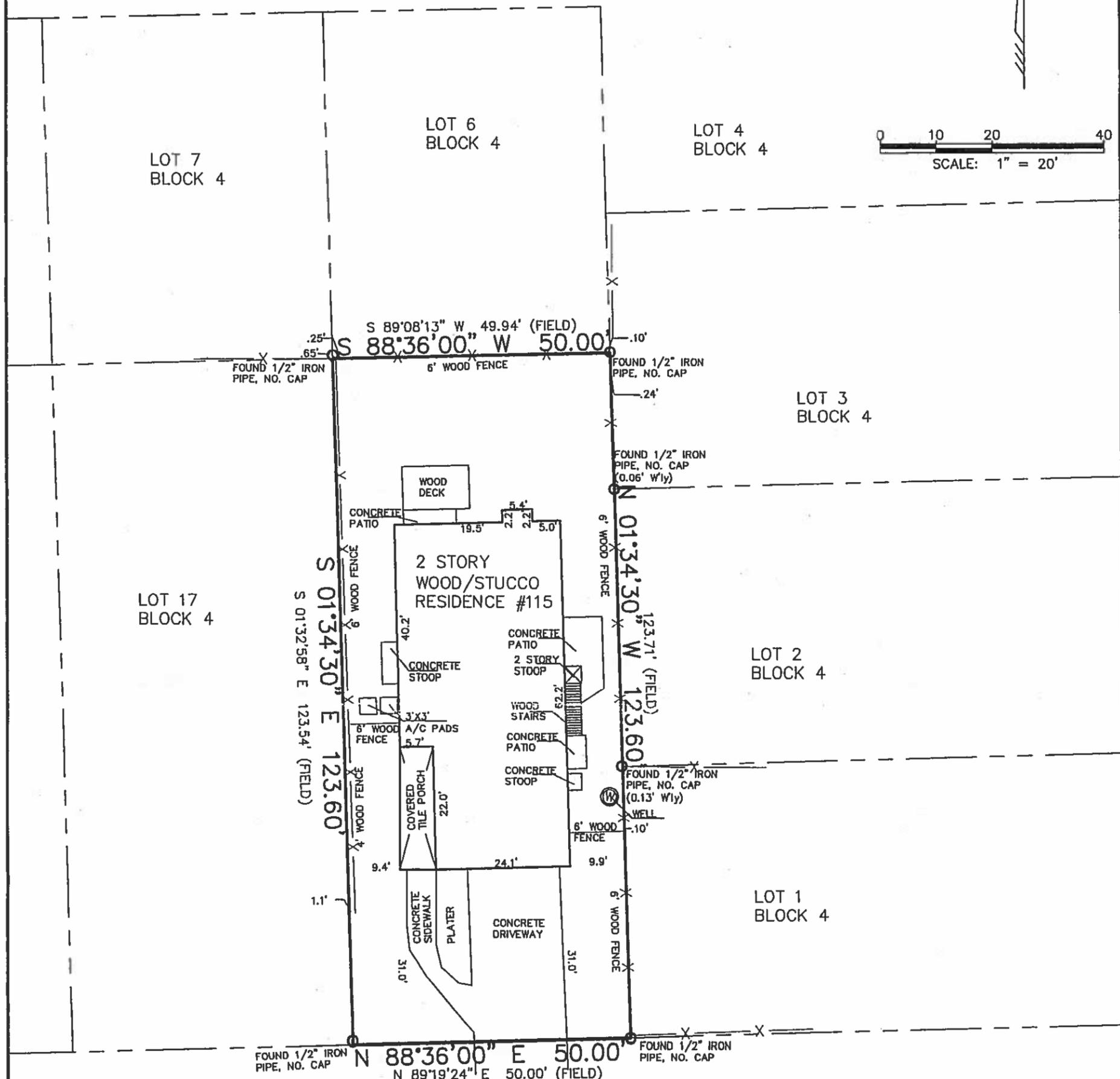
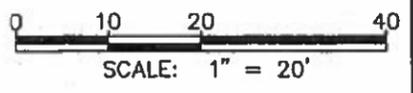
LOT COVERAGE CALCULATIONS:

TOTAL LOT:	6,180 SQ. FT.	NEW BUILDING:	2,052 SQ. FT.
EXISTING BUILDING:	1,739 SQ. FT.	REVISED DRIVE & PATIO:	624 SQ. FT.
EXISTING DRIVE & PATIO:	898 SQ. FT.	TOTAL LOT COVERAGE:	2,676 SQ. FT. (43%)
EXISTING LOT COVERAGE:	2,637 SQ. FT. (43%)		

Existing

# MAP SHOWING SURVEY OF

LOT 18, BLOCK 4, ATLANTIC SHORES, OCEAN FRONT SECTION, DIVISION "A", AS RECORDED IN PLAT BOOK 14, PAGE 11, OF THE CURRENT PUBLIC RECORDS DUVAL COUNTY, FLORIDA.



## 36TH AVENUE SOUTH

50' RIGHT-OF-WAY  
(FORMERLY HIDALGO STREET)

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NOV 14 2016

16-100206

PLANNING & DEVELOPMENT

### NOTES:

THIS IS A BOUNDARY SURVEY.  
NO BUILDING RESTRICTION LINE PER PLAT.  
BEARINGS BASE ON THE EASTERLY LINE OF LOT 18  
BLOCK 4, BEING NORTH 01°34'30" WEST.

THIS PROPERTY APPEARS TO LIE IN FLOOD  
ZONE "X" WHICH IS THAT AREA OUTSIDE THE  
500 YEAR FLOOD BY FLOOD MAPS LAST  
REVISED APRIL 17, 1989, COMMUNITY PANEL  
NO. 120078 0002 D.

THIS SURVEY WAS MADE FOR THE BENEFIT OF  
ROBERT O. AND LORENE R. JOHNSON

*Donn W. Boatwright*  
DONN W. BOATWRIGHT, P.S.M.  
FLORIDA LIC. SURVEYOR and MAPPER No. LS 3295  
FLORIDA LIC. SURVEYING & MAPPING BUSINESS No. LB 3672

\*NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.\*

CHECKED BY: *AC*  
DRAWN BY: AC  
FILE: 2005-22

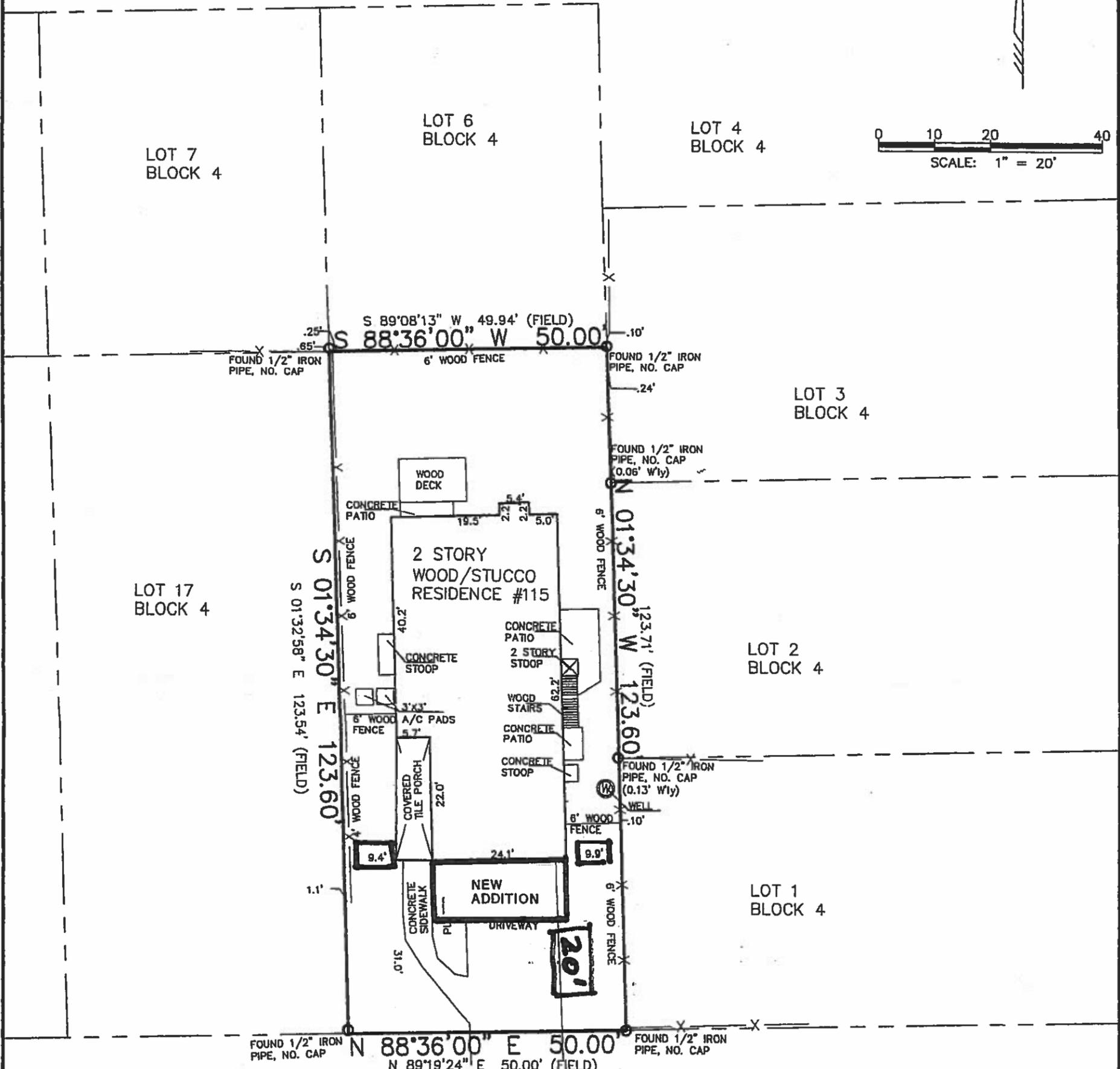
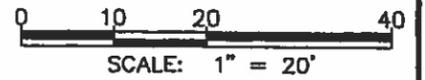
**BOATWRIGHT LAND SURVEYORS, INC.**  
1500 ROBERTS DRIVE, JACKSONVILLE BEACH, FLORIDA 241-8550

DATE:  
JANUARY 07, 2005  
SHEET 1 OF 1

PROPOSED

# MAP SHOWING SURVEY OF

LOT 18, BLOCK 4, ATLANTIC SHORES, OCEAN FRONT SECTION, DIVISION "A", AS RECORDED IN PLAT BOOK 14, PAGE 11, OF THE CURRENT PUBLIC RECORDS DUVAL COUNTY, FLORIDA.



36TH AVENUE SOUTH  
50' RIGHT-OF-WAY  
(FORMERLY HIDALGO STREET)

RECEIVED

NOV 17 2016

PLANNING & DEVELOPMENT

**NOTES:**

THIS IS A BOUNDARY SURVEY.  
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REVISED APRIL 17, 1989, COMMUNITY PANEL  
NO. 120078 0002 D.

THIS SURVEY WAS MADE FOR THE BENEFIT OF  
ROBERT O. AND LORENE R. JOHNSON

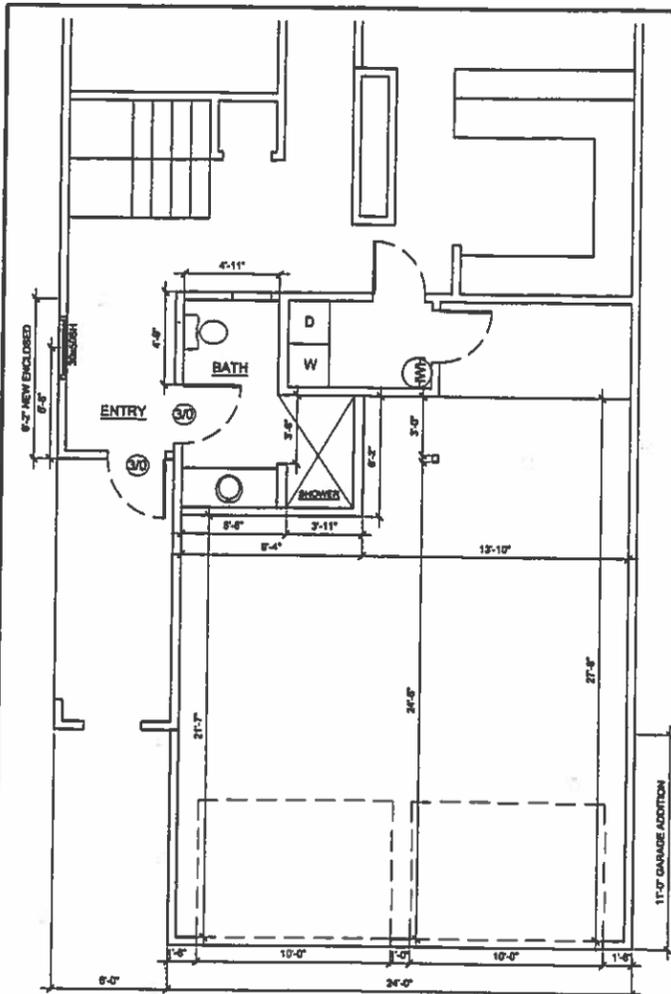
DONN W. BOATWRIGHT, P.S.M.  
FLORIDA LIC. SURVEYOR and MAPPER No. LS 3295  
FLORIDA LIC. SURVEYING & MAPPING BUSINESS No. LB 3672

CHECKED BY: Car  
DRAWN BY: AC  
FILE: 2005-22

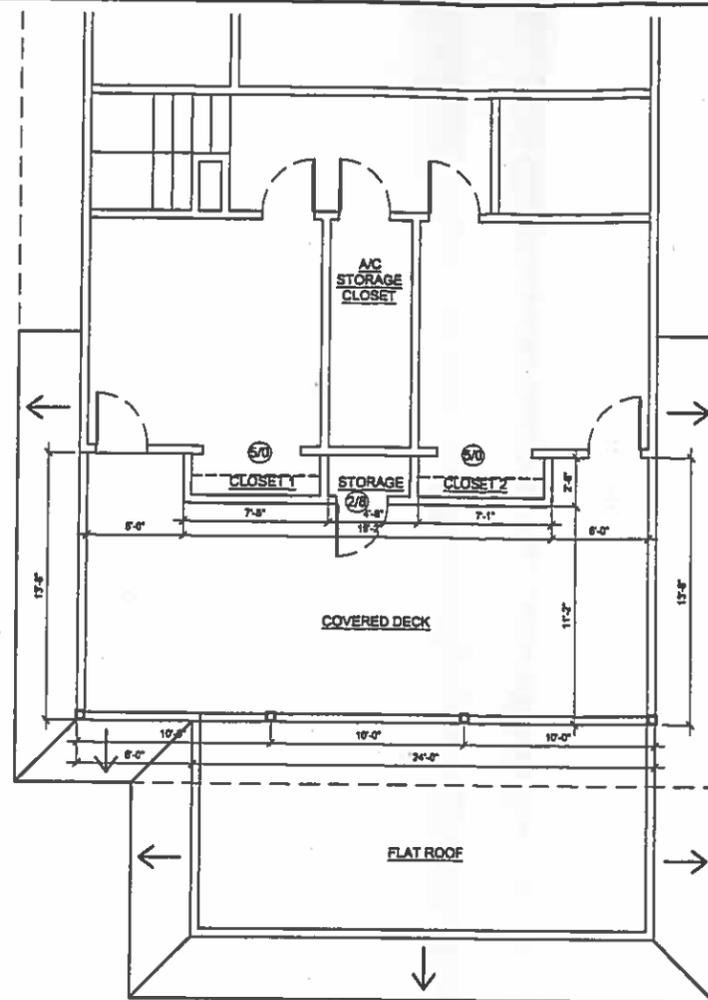
**BOATWRIGHT LAND SURVEYORS, INC.**  
1500 ROBERTS DRIVE, JACKSONVILLE BEACH, FLORIDA 241-8550

DATE:  
JANUARY 07, 2005  
SHEET 1 OF 1

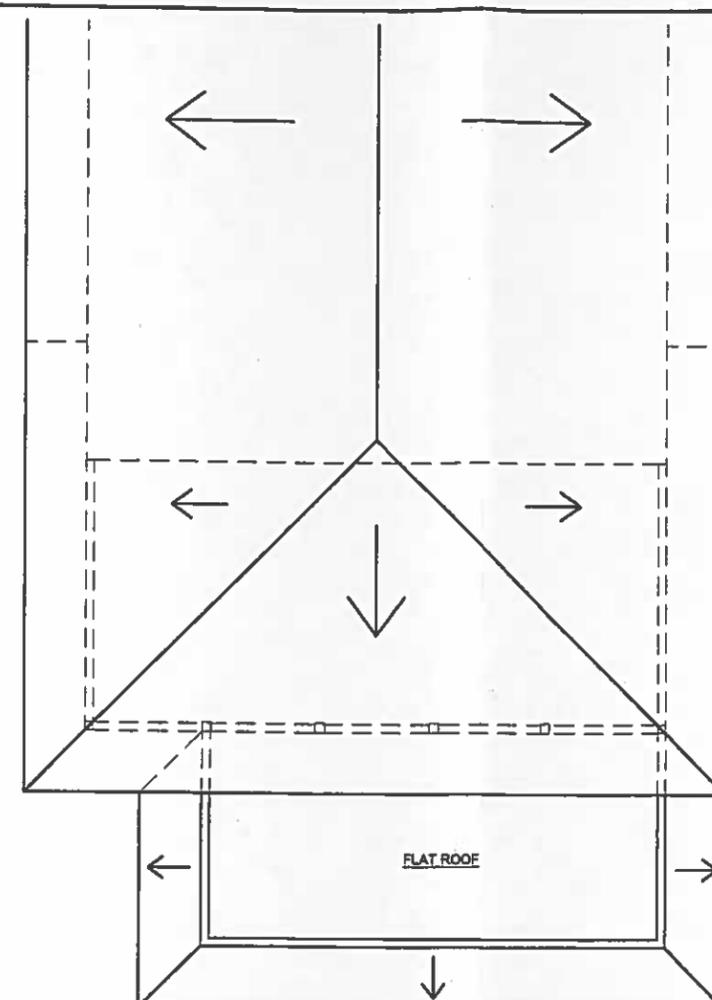
\*NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.\*



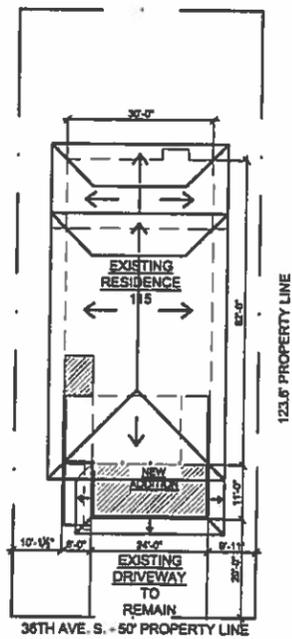
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0" 10-13-18 OPTION



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0" 10-13-18 OPTION



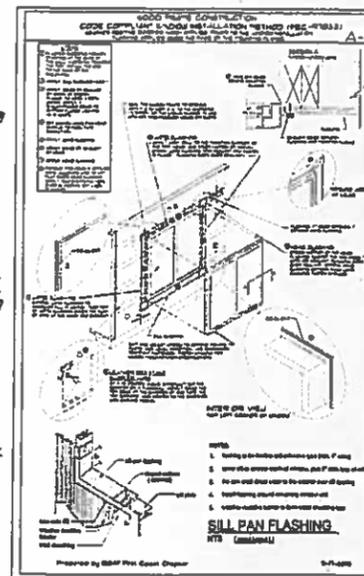
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**ARCHITECTURAL SITE PLAN**  
SCALE: 1/16" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0" 10-11-18 OPTION



RESIDENCE RENOVATION	
<b>PROJECT ADDRESS</b>	
115 36TH AVENUE SOUTH JACKSONVILLE BEACH, FL 32250	
WORK AREA-	
EXISTING 2ND FLOOR A/C:	967 SQ. FT.
EXISTING 1ST FLOOR A/C:	1,204 SQ. FT.
NEW 2ND FLOOR A/C:	38 SQ. FT.
NEW 1ST FLOOR A/C:	97 SQ. FT.
NEW TOTAL A/C:	2,306 SQ. FT.
<b>DRAWING INDEX</b>	
AB1 AS-BUILT PLANS A1 RENOVATION PLANS	
<b>BUILDING CODE SUMMARY</b>	
CODE ENFORCEMENT JURISDICTION: CITY OF JACKSONVILLE BEACH	
WIND ZONE: 130 MPH (WIND-BORNE DEBRIS)	
FLORIDA BUILDING CODE - 5TH EDITION	
OCCUPANCY CLASSIFICATION: RESIDENTIAL	
CONSTRUCTION TYPE: TYPE V-B (WOOD FRAME)	
SPRINKLED: NO	
FIRE DISTRICT: NO	
PROVIDE INSULATION PER CODE R-38 IN CEILING, R-13 IN WALLS	

**ARCHITECT:**  
THOMAS J MNICH, PA, AIA  
3818 1ST STREET SOUTH  
JACKSONVILLE BEACH,  
FLORIDA 32250  
904-536-8268  
Florida License #AR0017824

**CONSULTANT:**  
Julianne N. Overby, RA  
Architectural and Interior Design  
Julianne N. Overby, R.A.  
2452 Pullman Street  
Jacksonville Beach, Florida 32250  
904-704-8628  
Email: jnoverby@att.net  
FL AS-01006 FL 01-002

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NOV 14 2016  
16-100206  
PLANNING & DEVELOPMENT  
RESIDENCE  
115 36TH AVENUE SOUTH  
JACKSONVILLE BEACH, FL 32250

DATE ISSUED:  
OCTOBER, 2016

NOTE:  
DO NOT SCALE DRAWINGS.  
IF PRINTED ON 11"X17"  
MEDIA, DRAWING SCALE  
IS HALF-SIZED.

RENOVATION  
PLANS

A1

DESIGN SET



# APPLICATION FOR VARIANCE

BOA No. 16-100207

HEARING DATE 1-3-2017

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

## REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, to scale (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of **\$250.00** (due at the time of application submittal).
5. Completed application.

**RECEIVED**

NOV 17 2016

## APPLICATION INFORMATION

PLANNING & DEVELOPMENT

Applicant Name: Jonathan Beckham Telephone: 904-235-8668  
 Mailing Address: 3244 Pullian Court E-Mail: jonathan.beckham@gmail.com  
Jacksonville Beach, FL 32250

Agent Name: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Landowner Name: Jonathan Beckham Telephone: 904-235-8668  
 Mailing Address: 3244 Pullian Court E-Mail: jonathan.beckham@gmail.com  
Jacksonville Beach, FL 32250

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

## VARIANCE DATA

*Ret# 180926-0000*

Street address of property and/or Real Estate Number: 3244 Pullian Court

Legal description of property (Attach copy of deed): 11-40 09-3S-29E .137 JACKSONVILLE BEACH HEIGHTS LOT 9 BLK 12

Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). As shown variance is to add paver decking to 51.8% coverage for lot that is of smaller size

As part of this, we are working to build a pool and have pavers around the pool for the enjoyment of our family.

Please note that we have a certified Florida Plant Friendly yard and appreciate the environment and will take action to provide additional planting when complete.

In addition, we plan to install french drains to adequately avoid any runoff or other problems for our neighbors.

Applicant's Signature:  Date of Application: 11/17/2016

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: RS-2 FLOOD ZONE: \_\_\_\_\_

CODE SECTION (S): UX 34-337 e) (1) e. for 52% lot coverage in lieu of 35%

maximum of 43% lot coverage approved prior variance, BOA 06-10024)

to allow a pool and pool deck addition to an existing single-family dwelling.

BOA#16-100207

THIS INSTRUMENT PREPARED BY:

Briley & Deal, P. A.  
Barbara J. Lamb  
135 Professional Drive, Suite 101  
Ponte Vedra Beach, FL 32082

RECORD AND RETURN TO:

Jonathan E. Beckham  
4705 Morris Road  
Jacksonville, Florida 32225

RE PARCEL ID #: 180926-0000  
CONTRACT SALES PRICE: \$79,000.00

11 00 4641

**CORPORATE  
WARRANTY DEED**

THIS INDENTURE made this 21st day of March, 2011 by Allied Restoration Corporation, hereinafter referred to as Grantor, whether one or more, and whose address is 3948 South Third Street, Jacksonville Beach, Florida 32250, to Jonathan E. Beckham and Shannon T. Beckham, hereinafter referred to as Grantee, whether one or more, and whose address is 4705 Morris Road, Jacksonville, Florida 32225

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

**WITNESSETH:**

THAT Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations, in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to Grantee the following described land situate, lying and being in the County of Duval, State of Florida to wit:

**Lot 9, Block 12, Jacksonville Beach Heights, a subdivision according to the plat thereof recorded at Plat Book 11, Page 40, in the Public Records of Duval County, Florida.**

**SUBJECT TO** taxes accruing subsequent to **December 31, 2007.**

**SUBJECT TO** covenants, restrictions and easements of record, if any; however, this reference shall not operate to reimpose same.

**AND** Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple and fully warrants the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

BOA# 14-100207

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed in its name by its duly authorized officer(s) and caused its corporate seal to be hereto affixed the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness [Signature]  
Witness TERRY L. TRIPPI

Allied Restoration Corporation

By: Linda G. Pomerantz  
Its: President

By: Norman Kramer  
Its: Secretary

STATE OF Florida  
COUNTY OF St. Johns

The foregoing instrument was acknowledged before me this 21st day of March, 2011 by Linda G. Pomerantz, President of Allied Restoration Corporation. \* He/She/They have produced [Signature] as identification.

\*and Norman Kramer, Secretary

[Signature]  
Notary Public, County and State Aforesaid

Notary Printed Signature



My commission expires: \_\_\_\_\_

Documentary Stamps in the amount of \$553.00 have been paid.

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	Yes	The lot size for my property is of a very small size and I'm attempting to get a small variance exception so that I am able to get the maximum usage of it for me and my family to enjoy.
Special circumstances and conditions do not result from the actions of the applicant.	Yes	Lot size is limiting for building pool and adding additional pavers/decking.  NOV 17 2016 16-100207 PLANNING & DEVELOPMENT
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	Yes	Decking and Pavers are consistent with neighborhood
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	Yes	Unable to change the lot coverage for maximum usage without a variance
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	Yes	The usage is a reasonable use for the property.
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	Yes	No impact to adjacent land and we will install extra drains to ensure there is no standing water or runoff for neighbors' property.

July 11, 2005

Allied Restoration Corp.  
c/o Douglas Othmer  
3948 S. 3<sup>rd</sup> Street #322  
Jacksonville Beach, FL 32250

RE: BOA 05-100148  
3244 Pullian Court

Dear Mr. Othmer:

The Board of Adjustment for the City of Jacksonville Beach met and held a public hearing at 7:00 p.m. on July 6, 2005 to consider your variance application.

As indicated in the application, the request was for the following:

- 34-337 (e) (1) e, for 40% lot coverage in lieu of 35% maximum

To allow for a new single family dwelling

The results of the meeting were:

- Denied.

Please remove the public hearing notice posted on your property. If you have any questions regarding this variance, please feel free to call me at (904) 247-6235.

Sincerely,

Jon Hays, CBO  
Building Department

JCH/ct

# City of Jacksonville Beach



ELEVEN NORTH THIRD STREET • JACKSONVILLE BEACH, FLORIDA 32250

March 9, 2006

Douglas Othmer  
Allied Restoration Corporation  
3948 South 3<sup>rd</sup> Street #322  
Jacksonville Beach, FL 32250

RE: BOA 06-100024  
3244 Pullian Court

Dear Mr. Othmer:

The Board of Adjustment for the City of Jacksonville Beach met and held a public hearing at 7:00 p.m. on March 7, 2006 to consider your variance application.

As indicated in the application, the request was for the following:

- 34-337 (e)(1) e, for 43% lot coverage in lieu of 35% maximum

To allow for a new single-family dwelling.

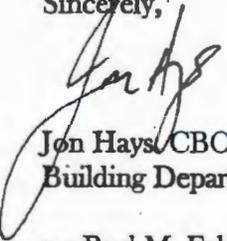
The results of the meeting were:

- *Approved.*

You are required to apply for a building permit for this project. A copy of the building permit application and a checklist for the required submittals is attached. Please complete and submit the application along with the required information to our office before you begin work on this project.

If you have any questions regarding this variance, please feel free to call me at (904) 247-6235.

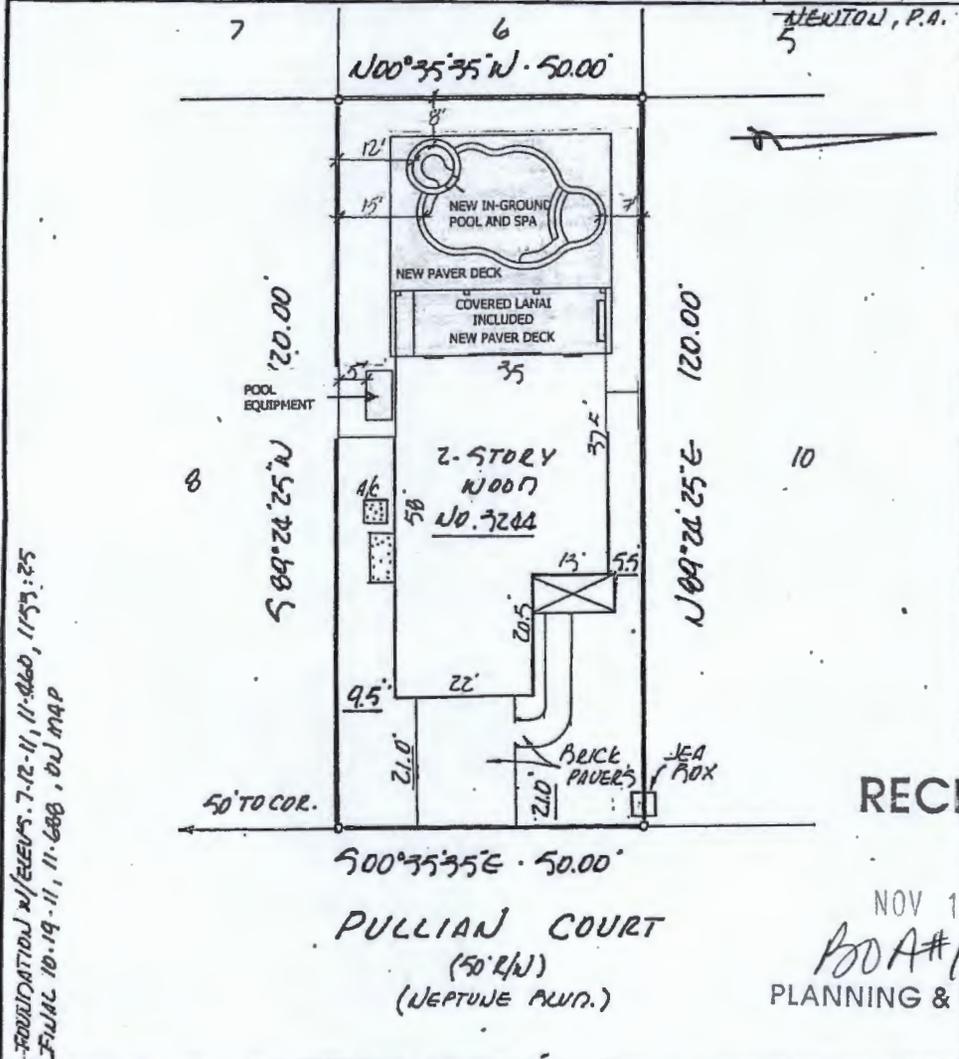
Sincerely,

  
Jon Hays/CBO  
Building Department

cc: Paul M. Eakin Esquire

**MAP SHOWING BOUNDARY SURVEY OF**  
**LOT 9 BLOCK 12 AS SHOWN ON MAP OF**  
**JACKSONVILLE BEACH HEIGHTS**

AS RECORDED IN PLAT BOOK 11 PAGES 40 OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA  
 CERTIFIED FOR: JONATHAN S. SHANNON BECKHAM, P.E.T.; KINGSMOUTH CONSTR.  
 INC.; HOSTIE HOMES; CHICAGO TITLE INS. CO.; NEWTON 9



LOT SF: 6000  
 HOUSE SF: 2235  
 DRIVEWAY SF: 451  
 NEW DECK SF: 422  
 15R = 5.8%

FOUNDATION W/LEVELS 7.12-11, 11-060, 1153:25  
 FOUND 10.19-11, 11-680, 011 MAP

RECEIVED

NOV 17 2016  
 POA # 16-100207  
 PLANNING & DEVELOPMENT

THE PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN FLOOD HAZARD ZONE X, AS SCALED FROM FLOOD INSURANCE RATE MAP 0002 FOR THE CITY OF JACKSONVILLE, FLORIDA, DATED 4-17-89, AND IS SHOWN AS A COURTESY ONLY AND DOES NOT CONSTITUTE A CERTIFICATION OF SAME.

**TRI-STATE LAND SURVEYORS, INC.**  
 5875 MINING TERRACE #209, JACKSONVILLE, FLORIDA 32257 (904) 880-2535

- LEGEND**
- CONC. W/CH
  - IRON COR.
  - (DIT WITH CAP # LB 4921)
  - FENCE
  - IRON COR. (FOUND)
  - ⊗ CROSS CUT
  - B.R.L. BUILDING RESTRICTION LINE
  - ESRT EASEMENT
  - R/W RIGHT-OF-WAY
  - CON. COVERED AREA
  - E CENTERLINE
  - A/C AIR CONDITIONING PAD
  - (R) RADIAL DISTANCE
  - CONCRETE

BEARINGS BASED ON R/W LINE AS SHOWN.

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THIS SURVEY BASED UPON DESCRIPTION AS FURNISHED, AND WITHOUT BENEFIT OF A TITLE BINDER/ABSTRACT OF TITLE AND/OR DEED RESEARCH.

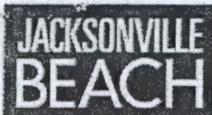
SCALE: 1" = 30'

LARRY G. EDDY, P.L.S. No. 4144  
 GLENN M. BIRD STREET, P.S.M. NO. 5814

FIELD WORK DATE: 6-30-11  
 SIGNATURE DATE: 7-1-11

REGISTERED SURVEYOR AND MAPPER,  
 STATE OF FLORIDA (LB 44921)





# APPLICATION FOR VARIANCE

BOA No. 116-100208  
HEARING DATE 1-3-2017

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

## REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, to scale (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of \$250.00 (due at the time of application submittal).
5. Completed application.

RECEIVED

NOV 17 2016  
116-100208  
PLANNING & DEVELOPMENT

## APPLICANT INFORMATION

Applicant Name: BRIAN PHILLIPS Telephone: 904-465-2505  
 Mailing Address: 1639 BEACH BLVD. E-Mail: jbrianphillips@msn.com  
JACKSONVILLE BCH., FL 32250

Agent Name: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Landowner Name: DB: B INVESTMENTS, LLC Telephone: 904-465-2505  
 Mailing Address: 1639 BEACH BLVD. E-Mail: jbrianphillips@msn.com  
JACKSONVILLE BCH., FL 32250

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

## VARIANCE DATA

Street address of property and/or Real Estate Number: 335 5<sup>th</sup> AVE SOUTH, RE #175899-0000  
 Legal description of property (Attach copy of deed): LOT 7, BLOCK 44, PABLO BEACH SOUTH: SEE ATTACHED DEED  
 Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). SEE ATTACHED "A"

Applicant's Signature: [Signature] Date of Application: 11/16/2016

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: C-1 (RM-1 by CU app, ref PC #36-16) FLOOD ZONE: \_\_\_\_\_

CODE SECTION (S): 34-339 (e)(1) C-1 for a front yard setback of 14', in lieu of 20' required;  
(e)(1) C-2 for 7.5' side yards, in lieu of 10' required;  
(e)(1) F for 50% lot coverage, in lieu of 35% maximum  
(e)(1) h for accessory structure setback of 2.5', in lieu of 5' required;  
to allow construction of a new two-family dwelling

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	NO	<p style="text-align: center;"><b>RECEIVED</b></p> <p style="text-align: center;">NOV 17 2016 16-100208</p>
Special circumstances and conditions do not result from the actions of the applicant.	YES	<p style="text-align: center;">PLANNING &amp; DEVELOPMENT</p>
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	NO	
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	YES	
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	YES	
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	YES	

**Prepared by and return to:**  
Lawrence V. Ansbacher, Esq.  
Ansbacher & Schneider, P.A.  
5150 Belfort Road, Building 100  
Jacksonville, FL 32256

16094035

**E-RECORDED** simplifile

ID: 2016 230552

County: Duval

Date: 10/16 Time: 4:27pm

**SPECIAL WARRANTY DEED**

1. **Grantor's name and address is:**  
CENTERSTATE BANK OF FLORIDA, N.A., a National Banking Corporation,  
  
1234 King Street  
Jacksonville, FL 32204
2. **Grantee's name and address is:**  
DB&B Investments, LLC, a Florida limited liability company  
  
1639 Beach Blvd., Suite 101  
Jacksonville Beach, FL 32250

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16-100208  
PLANNING & DEVELOPMENT

The terms Grantor and Grantee shall be non-gender specific, singular or plural, as the context permits or requires, and include heirs, personal representatives, successors or assigns where applicable and permitted.

3. The real property ("Property") conveyed hereby is described as follows:  
**Lot 7, Block 44, Pablo Beach South, a subdivision according to the plat thereof recorded at Plat Book 3, Page 28, in the Public Records of Duval County, Florida;**  
together with all tenements, hereditaments, easements, and appurtenances belonging to or benefiting such property.  
  
The Property Appraiser's Parcel Identification Number is: 175899-0000.
4. Grantor for good and valuable consideration plus the sum of \$10.00 the receipt whereof is hereby acknowledged, hereby grants, bargains, sells and conveys to Grantee the Property to have and to hold in fee simple forever.
5. Grantor fully warrants title to the Property and will defend the same against the lawful claims of all persons whomsoever claiming by, through or under Grantor, but not otherwise, except for (i) real property taxes subsequent to December 31, 2015 which are not yet due and payable, (ii) Permitted Exceptions set forth on Exhibit I attached hereto and (iii) covenants, reservations, restrictions and easements of record, if any, with reference thereto not serving to reimpose same.

EXCEPT AS EXPRESSLY SET FORTH IN THIS DEED, GRANTOR HAS MADE NO, AND EXPRESSLY DISCLAIMS ALL, REPRESENTATIONS, WARRANTIES, COVENANTS AND CONTRACTS OF EVERY KIND AND CHARACTER, EXPRESS OR IMPLIED OR ARISING BY OPERATION OF LAW, WITH RESPECT TO THE PROPERTY, INCLUDING, BUT NOT LIMITED TO, REPRESENTATIONS OR WARRANTIES AS TO MATTERS OF TITLE (OTHER THAN AS SPECIFICALLY SET FORTH ABOVE), ZONING, TAX CONSEQUENCES, PHYSICAL OR ENVIRONMENTAL CONDITIONS, AVAILABILITY OF ACCESS, INGRESS OR EGRESS,

OPERATING HISTORY OR PROJECTIONS, VALUATION, GOVERNMENTAL APPROVALS, GOVERNMENTAL REGULATIONS OR ANY OTHER MATTER OR THING RELATING TO OR AFFECTING THE PROPERTY, INCLUDING, WITHOUT LIMITATION: (i) THE VALUE, CONDITION, MERCHANTABILITY, MARKETABILITY, PROFITABILITY, HABITABILITY, SUITABILITY OR FITNESS OF THE PROPERTY FOR A PARTICULAR PURPOSE OR USE; (ii) THE MANNER OR QUALITY OF THE CONSTRUCTION OR MATERIALS INCORPORATED INTO ANY OF THE PROPERTY; (iii) THE AVAILABILITY OR EXISTENCE OF ANY WATER, SEWER OR UTILITIES (PUBLIC OR PRIVATE); (iv) THE MANNER, QUALITY, STATE OF REPAIR OR LACK OF REPAIR OF THE PROPERTY; OR (v) THE EXISTENCE OF ANY HAZARDOUS SUBSTANCE AT, IN, ON, UNDER OR ABOUT THE PROPERTY. THE TERMS OF THIS DISCLAIMER SHALL SURVIVE DELIVERY OF THIS DEED.

Effective as of October \_\_\_\_, 2016.

1<sup>st</sup> Witness: [Signature]  
Print Name: Ada Duka

2<sup>nd</sup> Witness: [Signature]  
Print Name: Robert Johnson

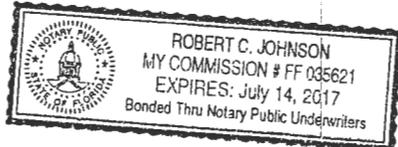
CENTERSTATE BANK OF FLORIDA, N.A.  
A National Banking Corporation

By: [Signature]  
Matthew T. Maynor, Its Vice President

State of Florida  
County of Duval

The foregoing instrument was acknowledged before me this 29<sup>th</sup> day of September 2016, by Matthew T. Maynor, as Vice President of CenterState Bank of Florida, N. A., a national banking corporation, on behalf of the corporation (  ) who is personally known to me or ( . ) who has produced \_\_\_\_\_ (Florida Driver's License) as identification.

[Signature]  
Notary Public, State of Florida  
My Commission Expires:



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CERTIFIED MAIL RECEIPT# 7012 2210 0002 4628 9941

November 17, 2016

Brian Phillips  
1639 Beach Blvd Suite 101  
Jacksonville Beach, FL 32250

RE: **Planning Commission Case: PC# 36-16**  
**Conditional Use Application** for a new two-family dwelling unit located in  
a *Commercial, limited: C-1* zoning district, located at 335 5<sup>th</sup> Avenue S.

Mr. Phillips,

The City of Jacksonville Beach Planning Commission met on Monday, November 14, 2016 in Council Chambers to consider your **Conditional Use Application** for a new two-family dwelling unit located in a *Commercial, limited: C-1* zoning district, pursuant to Section 34-342(d)(15) of the Jacksonville Beach Land Development Code. The request was **Approved**.

Please remove the public notices posted on the property.

Should you have any additional questions related to this matter, please feel free to contact our office at (904) 247-6231.

Sincerely,

Heather Ireland, AICP  
Senior Planner

City of

Jacksonville Beach

City Hall

11 North Third Street

Jacksonville Beach

FL 32250

Phone: 904.247.6231

Fax: 904.247.6107

Planning@jaxbchfl.net

www.jacksonvillebeach.org





# BRIAN PHILLIPS PROPERTIES, LLC

1639 Beach Blvd., Jacksonville Bch., FL 32250, 904-465-2505,  
[jbrianphillips@msn.com](mailto:jbrianphillips@msn.com)



11/18/2016

Hello Heather,

Attached ARE THE REVISED "1ST CHOICE" VARIANCE DOCUMENTS  
WE DISCUSSED OVER THE PHONE. PLEASE SUBSTITUTE THESE  
WITH THE EXISTING PAGES WE ORIGINALLY SUBMITTED WITH OUR  
VARIANCE APPLICATION.

THANK YOU,  
*J. Brian Phillips*  
BRIAN PHILLIPS

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Variance Application for:  
335 5<sup>th</sup> Ave South  
Jacksonville Beach, FL 32250

Lot 7 Block 44 Pablo Beach South

RE# 175899-0000

To the board of adjustments,

Due to the nature of the lot a hardship exist with the inability of the applicant to construct residences similar to town homes in the area. Town homes immediately adjacent to these proposed town homes already exist with the granted variances that are requested in this application.

Applicant is seeking 14' front building restriction line for the cantilevered balcony. The body of the house will meet the current 20' building restriction line.

Applicant is seeking 7.5' side building restriction lines. This will be the same restriction line that the corner lot was granted directly to the west.

Applicant is seeking 49.6% lot coverage

The following town homes are built with the same/ similar granted variances...

401 5<sup>th</sup> Ave South

417- 419 5<sup>th</sup> Ave South

409 - 411 5<sup>th</sup> Ave South

420 - 424 5<sup>th</sup> Ave South

500 - 502 5<sup>th</sup> Ave South

Thank you for your consideration



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**PROPOSED SITE STATISTICS**

NOV 18 2016

*16-100208*

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	SQUARE FEET	ACRES	PERCENT OF SITE
PROPOSED SITE AREA	6,250 SF	0.14 AC	100.0%
BUILDING FOOTPRINT AREA	2,136 SF	0.05 AC	34.2%
CONCRETE AREA	962 SF	0.02 AC	15.4%
TOTAL IMPERVIOUS AREA	3,098 SF	0.07 AC	49.6%
TOTAL PERVIOUS AREA	3,152 SF	0.07 AC	50.4%

12' ALLEY BY PLAT  
50.00'  
CONCRETE

SET 1/2" IRON PIPE  
DURDEN L.B. #6696

FOUND 1/2" IRON PIPE  
NO IDENTIFICATION (BENT)

4TH STREET SOUTH  
(ALSO KNOWN AS FOURTH STREET BY PLAT)  
50' RIGHT-OF-WAY

125.00'

125.00'

PROPOSED  
2 STORY  
DUPLEX  
RESIDENCE

PROPOSED  
CONCRETE  
WALKWAY (TYP.)

CANTILEVERED  
BALCONY ABOVE  
(TYP.)

PROPOSED  
CONCRETE  
DRIVEWAY (TYP.)

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250.00' N.T.S.

FOUND 1/2" IRON PIPE  
NO IDENTIFICATION

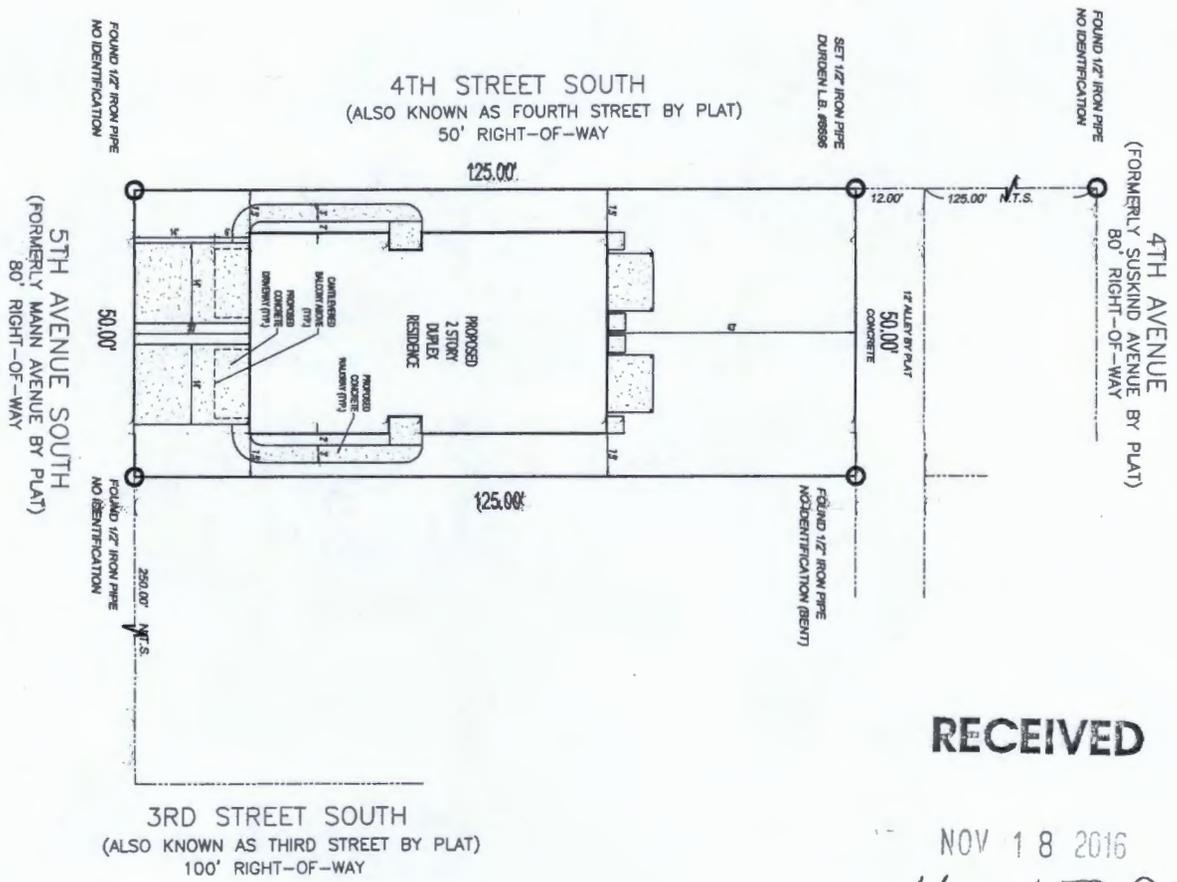
50.00'

FOUND 1/2" IRON PIPE  
NO IDENTIFICATION

5TH AVENUE SOUTH  
(FORMERLY MANN AVENUE BY PLAT)  
80' RIGHT-OF-WAY

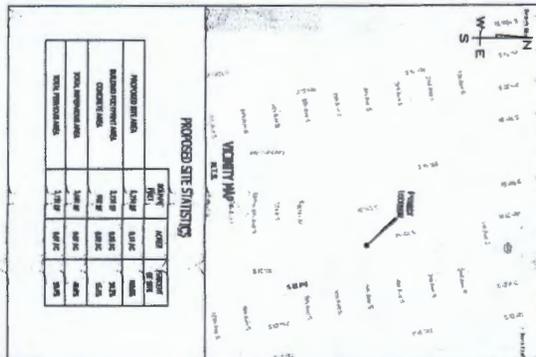


SITE PLAN  
SHEET 7



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PROPOSED SITE DIMENSIONS	EXIST.	PROPOSED	REMARKS
ALLEY WIDTH	12.00'	12.00'	CONCRETE
DRIVEWAY WIDTH	12.00'	12.00'	CONCRETE
PARKING WIDTH	12.00'	12.00'	CONCRETE
ALLEY DEPTH	50.00'	50.00'	CONCRETE
DRIVEWAY DEPTH	12.00'	12.00'	CONCRETE
PARKING DEPTH	12.00'	12.00'	CONCRETE
ALLEY AREA	600.00	600.00	SQ. FT.
DRIVEWAY AREA	144.00	144.00	SQ. FT.
PARKING AREA	144.00	144.00	SQ. FT.
TOTAL AREA	888.00	888.00	SQ. FT.

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A01	SITE PLAN
A02	SET AND 2ND LUMP, BLOCK PLUMB
A03	FOUNDATION AND FOOTING PLAN
A04	SET AND 2ND LUMP, ELECTRICAL PLAN
A05	DETAIL SCHEDULE

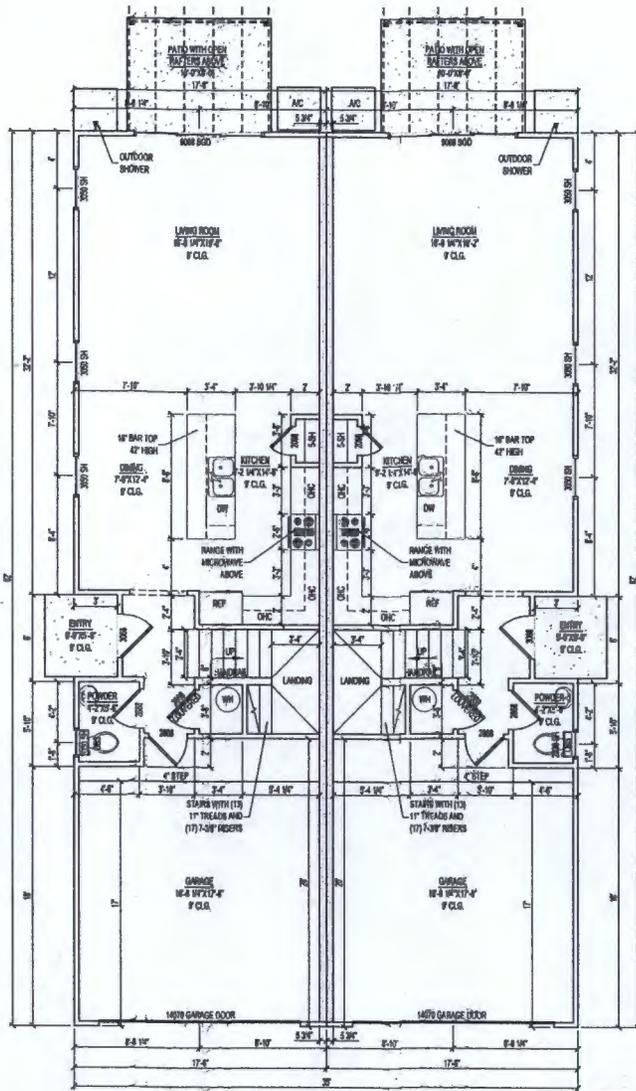
CODE INFORMATION	
BUILDING CODE	DATE
2015 FLORIDA BUILDING CODE	11-16-16
2015 FLORIDA PLUMBING CODE	AS SHOWN
2015 FLORIDA ELECTRICAL CODE	AS SHOWN
2015 FLORIDA MECHANICAL CODE	AS SHOWN
2015 FLORIDA ENERGY CODE	AS SHOWN
2015 FLORIDA ENVIRONMENTAL CODE	AS SHOWN
2015 FLORIDA FIRE CODE	AS SHOWN
2015 FLORIDA SAFETY CODE	AS SHOWN
2015 FLORIDA HEALTH CODE	AS SHOWN
2015 FLORIDA LAND DEVELOPMENT CODE	AS SHOWN

**Coastal Atlantic, Inc.**  
 GENERAL CONTRACTORS  
 1639 Beach Blvd.  
 Jacksonville Beach, FL 32250  
 (904) 289-9919

**Shields CAD Services**  
 1420 1st Street | Neptune Beach, FL 32266  
 Phone: (904) 241-1540  
 Website: www.scljca.com | Email: billshields@gmail.com

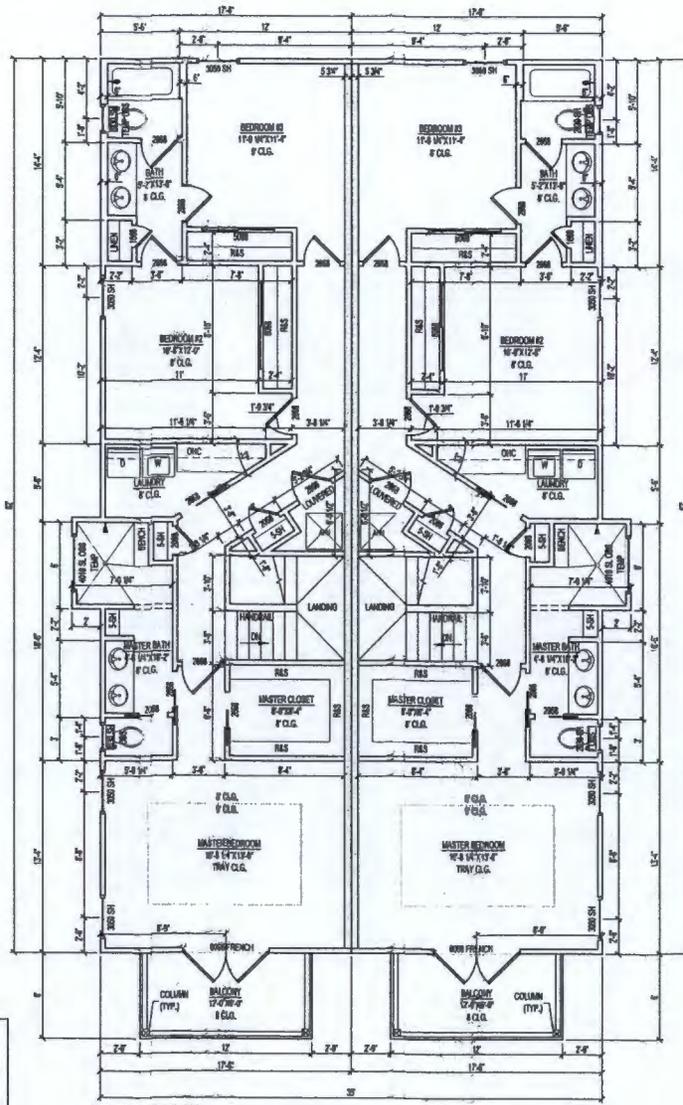
PROPOSED 2 STORY DUPLEX  
 335 5TH AVENUE SOUTH | JACKSONVILLE BEACH, FL  
 SITE PLAN

A0.1

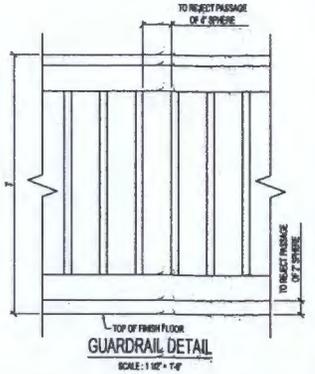


**1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

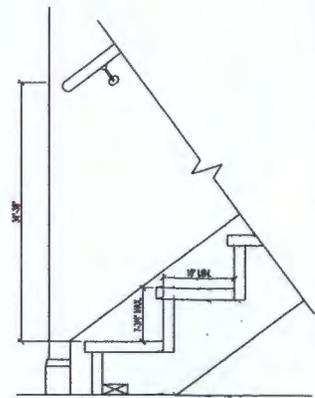
AREAS FOR EACH UNIT	
1ST FLOOR HEATED AREA	717 SF
2ND FLOOR HEATED AREA	1,086 SF
TOTAL HEATED AREA	1,803 SF
GARAGE	351 SF
ENTRY	28 SF
COVERED BALCONY	72 SF
TOTAL UNDER ROOF	2,286 SF



**2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**GUARDRAIL DETAIL**  
SCALE: 1/2" = 1'-0"



**STAIR DETAIL**  
SCALE: 1/2" = 1'-0"

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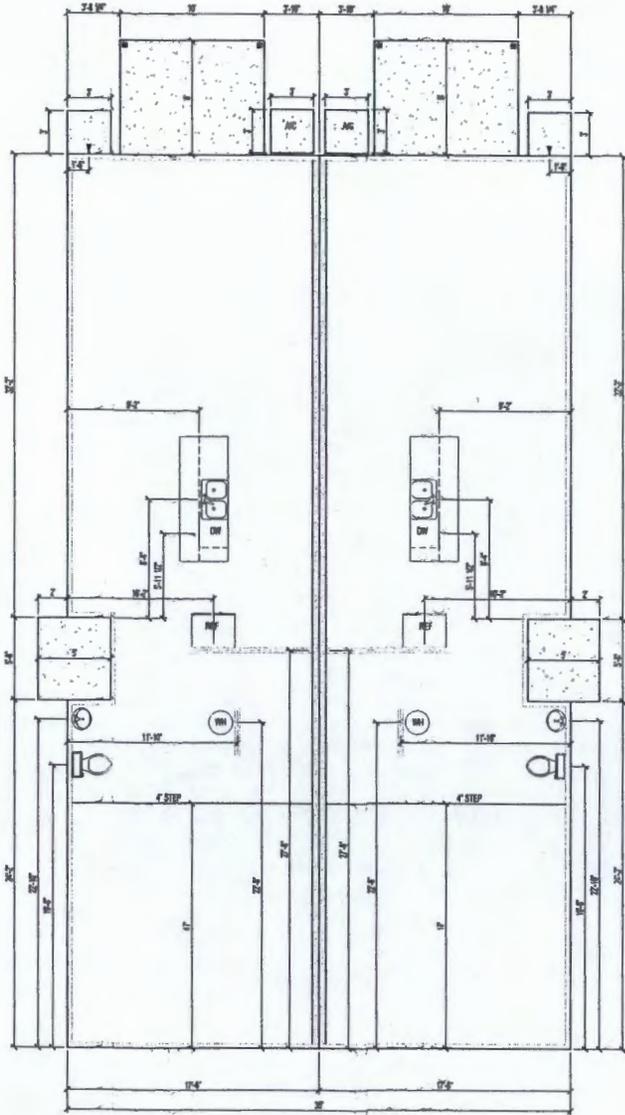
**PLANNING & DEVELOPMENT**

PROPOSED 2 STORY DUPLEX  
333 5TH AVENUE SOUTH | JACKSONVILLE BEACH, FL

**Shields CAD Services**  
1400 1st Street | Neptune Beach, FL 32256  
Phone: (904) 241-1540  
Website: www.acginc.com | Email: info@shieldscad.com

**Coastal Atlantic, Inc.**  
GENERAL CONTRACTORS  
3439 Beach Blvd.  
Jacksonville Beach, FL 32250  
(904) 295-9919

Date: 11-16-16  
Scale: AS SHOWN  
Job:  
Sheet: **A1.1**



**FOUNDATION PLUMBING PLAN**  
SCALE: 1/4" = 1'-0"

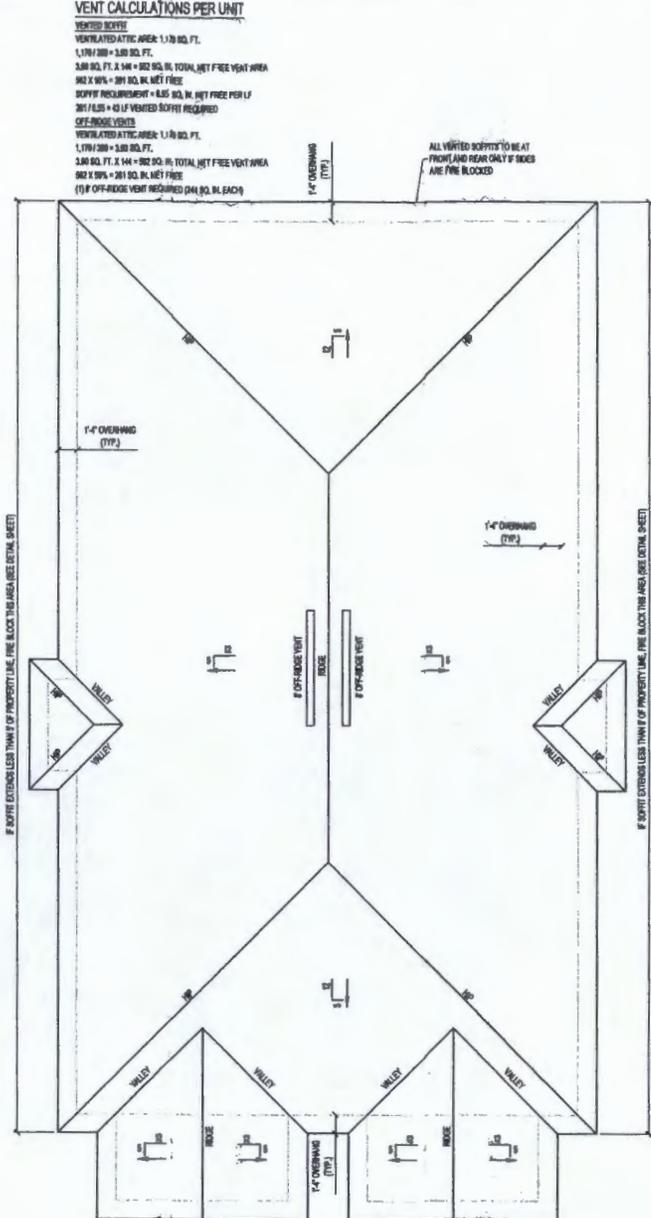
SEE STRUCTURAL PLANS FOR DETAILS.

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**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

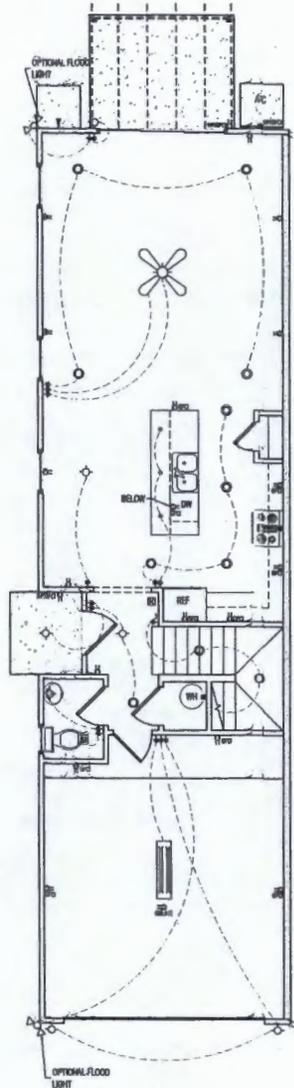
**VENT CALCULATIONS PER UNIT**  
**VENTED ROOFS**  
 VENTILATED ATIC AREA: 1.70 SQ. FT.  
 1.00 / 200 = 0.005 SQ. FT.  
 3.00 SQ. FT. x 144 = 432 SQ. IN. TOTAL NET FREE VENT AREA  
 432 x 90% = 389 SQ. IN. NET FREE  
 ROOF REQUIREMENT = 432 SQ. IN. NET FREE PER LF  
 389 / 432 = 0.90 LF VENTED ROOFS REQUIRED  
**OFF-ROOF VENTS**  
 VENTILATED ATIC AREA: 1.70 SQ. FT.  
 1.00 / 200 = 0.005 SQ. FT.  
 3.00 SQ. FT. x 144 = 432 SQ. IN. TOTAL NET FREE VENT AREA  
 432 x 90% = 389 SQ. IN. NET FREE  
 (1) IF OFF-ROOF VENT REQUIRED (24 SQ. IN. EACH)

ALL VENTED ROOFS TO BE AT FRONT AND REAR ONLY IF SIDES ARE FIRE BLOCKED

IF ROOF EXTENDS LESS THAN 18" OF PROPERTY LINE, FIRE BLOCK THIS AREA (SEE DETAIL SHEET)

IF ROOF EXTENDS LESS THAN 18" OF PROPERTY LINE, FIRE BLOCK THIS AREA (SEE DETAIL SHEET)

<b>PROPOSED 2-STORY DUPLEX</b> 135 5TH AVENUE SOUTH   JACKSONVILLE BEACH, FL	
<b>FOUNDATION AND ROOF PLANS</b>	
<b>Shields CAD Services</b> 1400 1st Street   Neptune Beach, FL 32266 Phone: (904) 241-1540 Website: www.shieldscad.com   Email: shields@shieldscad.com	<b>Coastal Atlantic, Inc.</b> <b>GENERAL CONTRACTORS</b> 1639 Beach Blvd. Jacksonville Beach, FL 32230 (904) 389-9919
Date: 11-16-16 Scale: AS SHOWN Job: Sheet:	<b>A1.2</b>

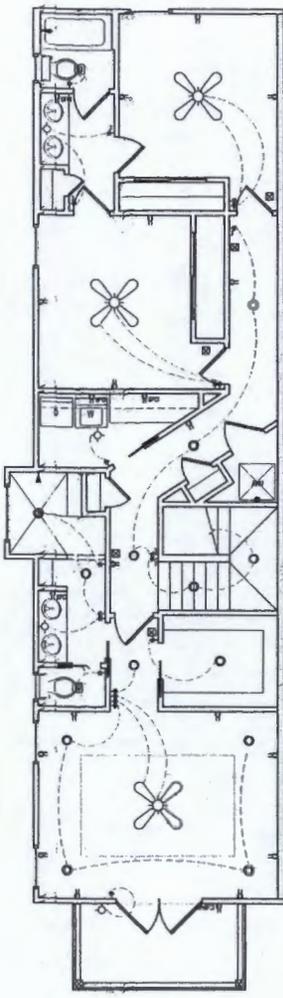


TYPICAL 1ST FLOOR ELECTRIC PLAN  
SCALE: 1/8" = 1'-0"

**LEGEND**

○	(2) 110V OUTLETS
●	(1) 220V DISCONNECT
○	(2) 110V WATERPROOF GFCI OUTLETS (INTERIOR)
○	(2) 110V WATERPROOF GFCI OUTLETS (EXTERIOR)
+	SINGLE POLE SWITCH
⊕	THREE WAY SWITCH
⊞	LIGHT FIXTURE / EXHAUST FAN
◇	WALL MOUNTED LIGHT FIXTURE
◇	CEILING MOUNTED LIGHT FIXTURE
○	RECESSED LIGHT
•	PENDANT LIGHT FIXTURE
✕	PRE-WIRE AND BRACKET FOR CEILING FAN
⊞	SMOKE/CO/HEAT MONITORING DETECTOR
○	OPTIONAL FLOOR LIGHT
▭	120V FLUORESCENT LIGHT

**NOTES:**  
 1. ELECTRICAL LAYOUT MUST MEET STATE AND LOCAL CODES.  
 2. ALL FIXTURES TO BE CFL OR LED.  
 3. ALL OUTLETS THAT ARE NOT GFI TO BE AFCI PROTECTED.



TYPICAL 2ND FLOOR ELECTRIC PLAN  
SCALE: 1/8" = 1'-0"

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	<p><b>Coastal Atlantic, Inc.</b>          GENERAL CONTRACTORS          1630 Beach Blvd.          Jacksonville Beach, FL 32250          (904) 256-9915</p>	<p><b>Shields CAD Services</b>          1400 1st Street   Neptune Beach, FL 32256          Phone: (904) 241-1540          Website: www.scsr.com   Email: shields@csr.com</p>	<p>PROPOSED 3 STORY DUPLEX          335 5TH AVENUE SOUTH   JACKSONVILLE BEACH, FL          1ST AND 2ND LEVEL ELECTRIC PLANS</p>
Date	11-16-16	Scale	AS SHOWN
Job		Sheet	A1.3

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FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

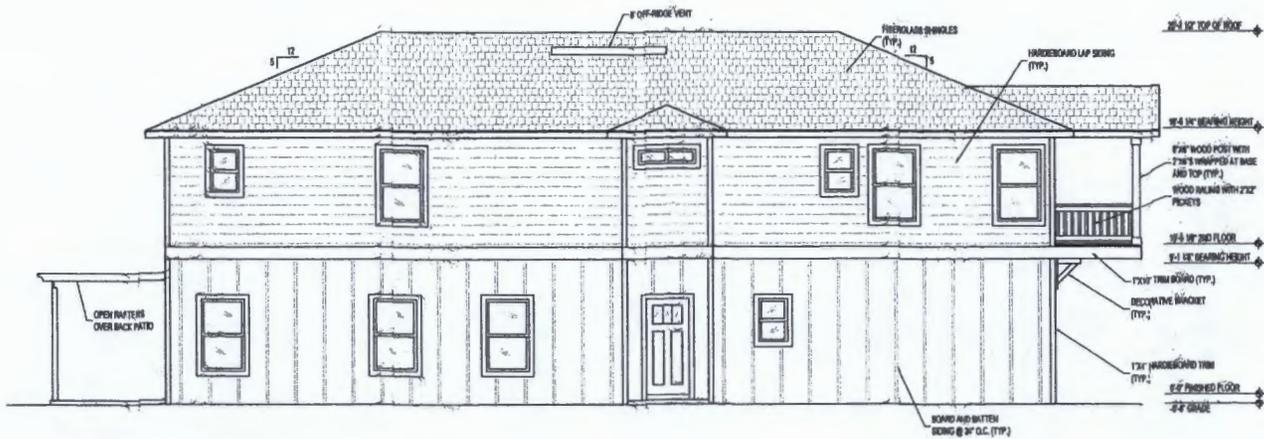
PROPOSED 2 STORY DUPLEX  
315 3TH AVENUE SOUTH | JACKSONVILLE BEACH, FL

Shields CAD Services  
1000 US Street | Neptune Beach, FL 32266  
Phone: (904) 241-1540  
Website: www.shieldscad.com | Email: info@shieldscad.com

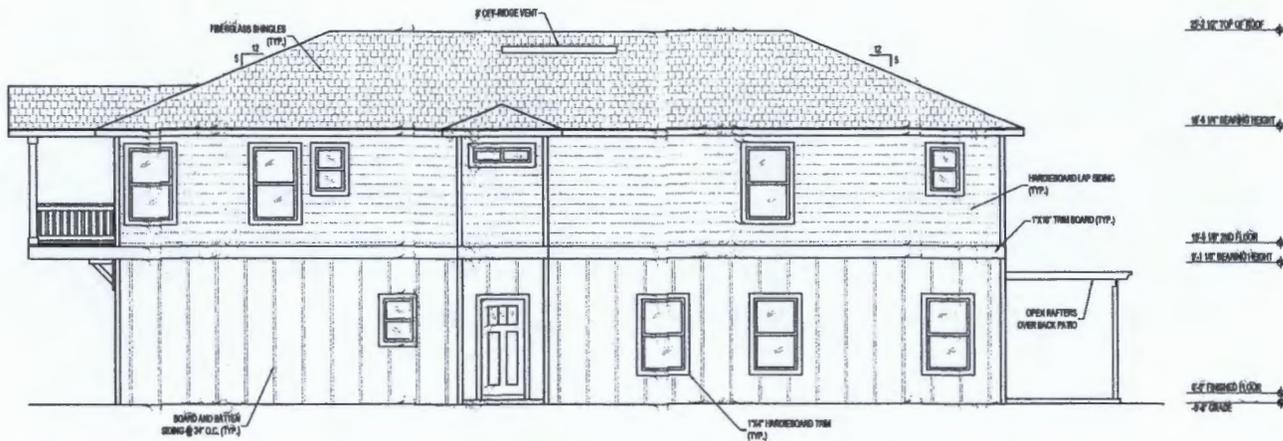
Coastal Atlantic, Inc.  
GENERAL CONTRACTORS  
1000 US Street, Suite 100  
Jacksonville Beach, FL 32260  
(904) 265-7915

REV	DATE	DESCRIPTION

Date: 11-16-16  
Scale: AS SHOWN  
Job:  
Sheet: A2.1



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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16-10208

PLANNING & DEVELOPMENT

PROPOSED 2 STORY DUPLEX  
325 5TH AVENUE SOUTH | JACKSONVILLE BEACH, FL

Shields CAD Services  
1400 1st Street | Neptune Beach, FL 32066

Phone: (904) 241-1590  
Website: www.shieldscad.com | Email: shields@shieldscad.com

Coastal Atlantic, Inc.  
GENERAL CONTRACTORS

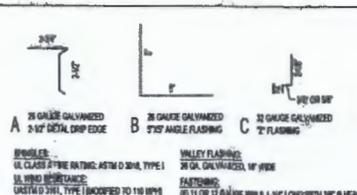
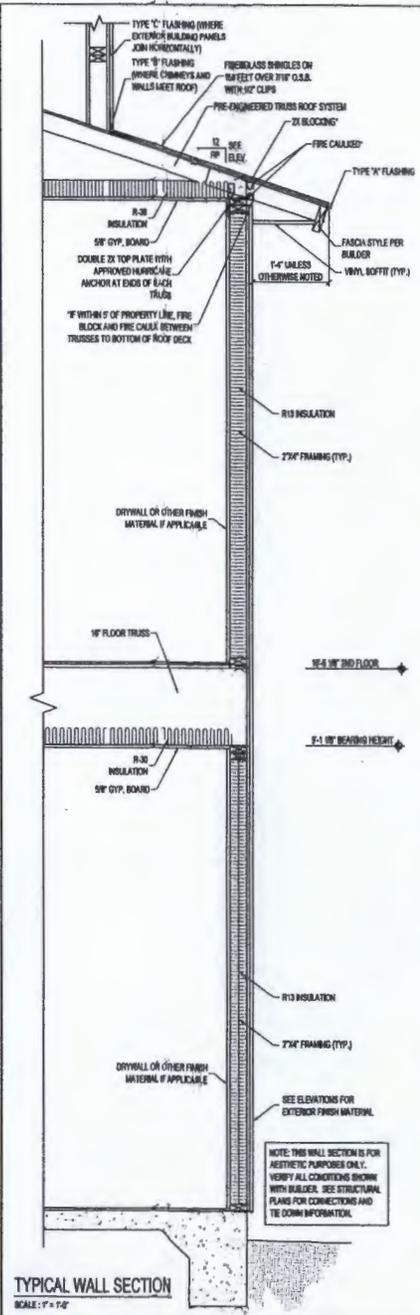
1609 Beach Blvd., Suite 101  
Jacksonville, FL 32250  
(904) 269-9913

NO.	DATE	DESCRIPTION

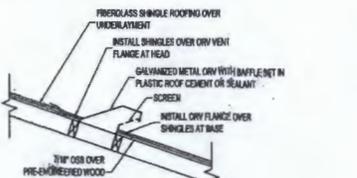


Date: 11-16-16  
Scale: AS SHOWN  
Job:  
Sheet:

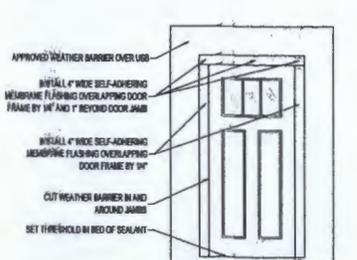
A2.2



**FLASHING DETAILS AND SHINGLE INFORMATION**  
SCALE: 1/4" = 1'-0"



**OFF RIDGE VENT DETAIL**  
NOT TO SCALE



**DOOR FLASHING INSTALLATION AND DETAIL**  
SCALE: N.T.S.

**GENERAL NOTES:**  
1. FLASHING BARRIER (IF REQUIRED) MUST BE INSTALLED BEFORE C.O.  
2. AIR TYPE 'C' BOARD REQUIRED ON CEILING OF GARAGE WHERE PARTIAL SPACE IS ABOVE PERMISSIBLE.  
3. FINIC PINE FINISH NATED ASSEMBLY TO COMPLY WITH FIC 100.4.  
4. UNDER STAIR PROTECTION TO COMPLY WITH FIC 100.4 IF ACCESSIBLE.

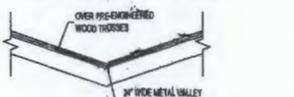
**GUARDRAIL NOTE:**  
DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES (011.1.3.1) (1.3) FOR MAXIMUM HEIGHT CONTINUITY AND USE.  
"HEIGHT" MEASURED BETWEEN 34\"/>

**HANDRAIL NOTE:**  
DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES (011.1.3.1) (1.3) FOR MAXIMUM HEIGHT CONTINUITY AND USE.  
"HEIGHT" MEASURED BETWEEN 34\"/>

**STAIR NOTE:**  
DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES (011.1.3.1) (1.3) FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTH.  
"WIDTH" 3/4\"/>

**R703.8 FLASHING:**  
APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CHASE OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FROM ABOVE AND TO THE SURFACE OF THE EXTERIOR WALL FROM BELOW UNDER STEPCORNS.  
2. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL CORNICES AND BELLS.  
3. CONTINUOUSLY ABOVE ALL "PROJECTING" WOOD TRIM.  
4. IN EACH EXTERIOR POCKET, ROCK OR OTHER ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD FRAMED CONSTRUCTION.  
5. AT ALL WALL AND ROOF INTERSECTIONS.  
6. AT BUILT IN GUTTERS.

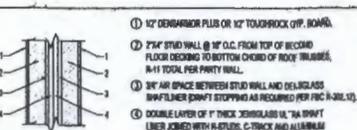
**VALLEY SHINGLE INSTALLATION:**  
INSTALL SHINGLES USING WAVE METOD  
1. EXTEND (1) FULL END IN MINIMUM 1/2\"/>



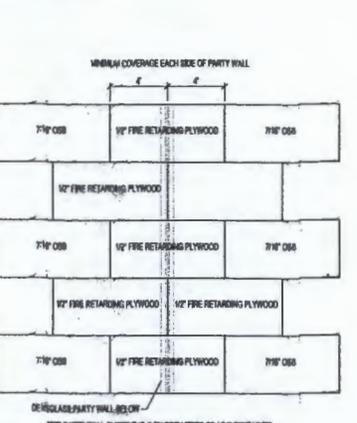
**VALLEY FLASHING DETAIL**  
NOT TO SCALE



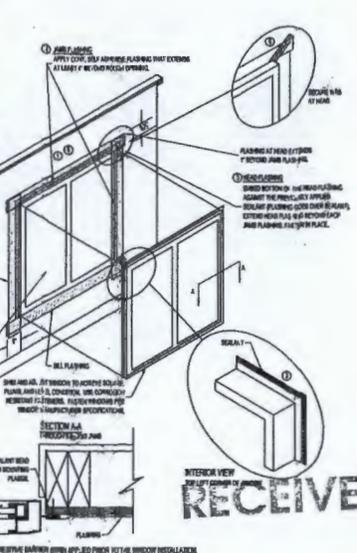
**PLUMBING STACK FLASHING DETAIL**  
NOT TO SCALE



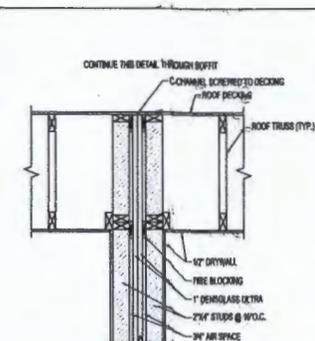
**FRAME PARTY WALL CONSTRUCTION**  
UL DESIGN: U373  
SCALE: 1/4" = 1'-0"



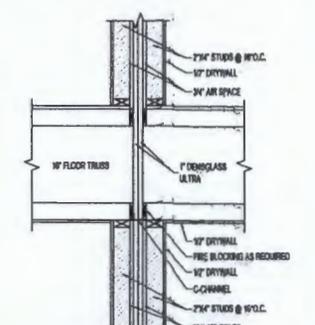
**ROOF SHEATHING DETAIL AT PARTY WALL**  
SCALE: 1/4" = 1'-0"



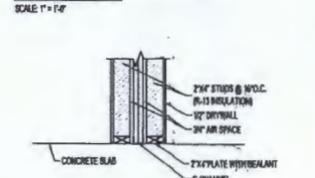
**WINDOW INSTALLATION**  
SCALE: N.T.S.



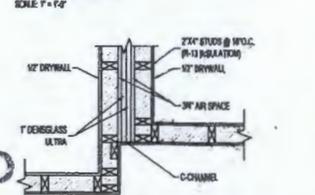
**TYPICAL ATTIC PARTY WALL - UL DESIGN: U373**  
SCALE: 1/4" = 1'-0"



**TYPICAL PARTY WALL 2ND FLOOR**  
UL DESIGN: U373  
SCALE: 1/4" = 1'-0"



**TYPICAL PARTY WALL TO SLAB**  
UL DESIGN: U373  
SCALE: 1/4" = 1'-0"



**TYPICAL OFFSET WALL BETWEEN UNITS**  
UL DESIGN: U373  
SCALE: 1/4" = 1'-0"

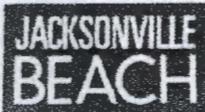
PROPOSED 2 STORY DUPLEX  
333 5TH AVENUE SOUTH | JACKSONVILLE, FL  
DETAIL SHEET

Shields CAD Services  
1400 14 Street | Neptune Beach, FL 32266  
Phone: (904) 241-1540  
Website: www.cadpro.com | Email: shields@cadpro.com

Coastal Atlantic, Inc.  
GENERAL CONTRACTORS  
1609 Beach Walk | Ft. 32269  
Jacksonville, FL 32269  
(904) 209-9919

Scale	11-16-16
Scale	AS SHOWN
Job	
Sheet	A3.1

NOV 18  
100-100208  
PLANNING & DEVELOPMENT



# APPLICATION FOR VARIANCE

BOA No. 16-100211

HEARING DATE 1-3-2017

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. A boundary survey prepared by a registered land surveyor that shows the location of all existing improvements. Survey, plat or new site plan must also show all proposed additions and/or improvements added to the drawing, to scale (on 11"x17" paper or smaller).
2. Proof of ownership (copy of deed or current property tax notification).
3. If applicant is not owner, notarized written authorization from owner is required.
4. Non-refundable processing fee of **\$250.00** (due at the time of application submittal).
5. Completed application.

RECEIVED

NOV 21 2016

PLANNING & DEVELOPMENT

### APPLICATION INFORMATION

**Applicant Name:** Starfish Group Properties Inc. **Telephone:** (760) 975-4040  
**Mailing Address:** 11628 Aspen Creek Drive **E-Mail:** acromer88@gmail.com  
Fort Worth TX 76244  
**Agent Name:** Drew Cromer **Telephone:** (904) 540-6374  
**Mailing Address:** 1476 Greyfield Dr **E-Mail:** stockfella@gmail.com  
St Augustine FL 32092  
**Landowner Name:** Fred A Cattar **Telephone:** (904) 571-7247  
**Mailing Address:** 1301 A 4th Street North **E-Mail:** fcattar@comcast.net  
Jacksonville FL 32250

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and/or Real Estate Number: 1304 & 1308 4th St N/174675-0000  
 Legal description of property (Attach copy of deed): 3-28 28-2S-29E Pablo Beach North Lot 8 BLK 135  
 Justification for Variance: (State the hardship that is created by the application of the code to the property). (Attach a separate sheet if necessary). \_\_\_\_\_

Applicant's Signature: *J. Cromer* Date of Application: 11/19/2016

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: RM-1 FLOOD ZONE: \_\_\_\_\_

CODE SECTION (S): 34-339(e)(4)c-3 for a rear yard setback of 10', in lieu of 30' required, (e)(4)h, for accessory structure (driveways) setbacks of 2.5', in lieu of 5' required, to allow construction of a new 3-unit townhouse development

1-3-2017

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. 16-100211

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.		
Special circumstances and conditions do not result from the actions of the applicant.		
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.		
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.		
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.		
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.		

Prepared By:  
Fred L. Ahern, Jr.  
Buschman, Ahern, Persons & Bankston  
2215 S. Third Street #101  
Jacksonville Beach, FL 32250  
02-619

Doc# 2002190742  
Book: 10564  
Page: 1136  
Filed & Recorded  
07/10/2002 08:38:40 AM  
JIM FULLER  
CLERK CIRCUIT COURT  
DUVAL COUNTY  
TRUST FUND \$ 1.00  
DEED DOC STAMP \$ 1,750.00  
RECORDING \$ 5.00

Record and Return to:  
Fred A. Cattar and Jenet L. Cattar, as Trustees  
110 Walnut Street  
Neptune Beach, Florida 32266

**WARRANTY DEED**

This Warranty Deed made the 28th day of June, A.D. 2002, by Robert W. Cowan, whose address is 462 Hollywood Hills Road, Clarkesville, GA 30523, hereinafter called grantor, to **Fred A. Cattar and Jenet L. Cattar, as Trustees of The Fred A. Cattar Living Trust**, with full power and authority to protect, conserve and to sell, or to lease, or to encumber, or otherwise to manage and dispose of the real property described herein pursuant to Sec. 689.071, F.S., whose address is 110 Walnut Street, Neptune Beach, Florida 32266, hereinafter called the grantee: (Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation).

WITNESSETH: That the grantor, for and in consideration of the sum of TEN & No/100 Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, viz:

Lot 8, Block 135, Pablo Beach North, according to plat thereof recorded in Plat Book 3, page 28, of the current public records of Duval County, Florida

Parcel I.D #: 174675-0000

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that Grantor or any members of the household of the Grantor reside thereon.

SUBJECT TO covenants, restrictions, easements of record and taxes for the current year.

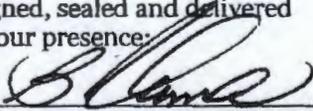
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To have and to hold, the same in fee simple forever.

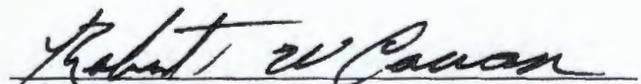
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2001.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

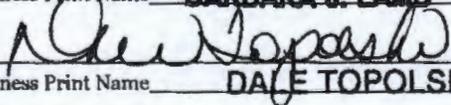
Signed, sealed and delivered  
in our presence:



Witness Print Name **BARBARA J. LAMB**



Robert W. Cowan



Witness Print Name **DALE TOPOLSKI**

STATE OF FLORIDA  
COUNTY OF DUVAL

I hereby certify on this day, before me, an officer duly authorized to administer oaths and take

Ref. BOA# 16-100211

August 22, 2016

To: City of Jacksonville Beach Authority for the Variance Application

Re: Property located at 1304 and 1308 4<sup>th</sup> Street North, Jacksonville Beach, FL 32250

RE parcel number 174675 0000 Owner : Fred A Cattar (Trust)

I hereby grant permission for the Starfish Group Properties, Andy Cromer President (and or his agent) to file for a variance for this property.

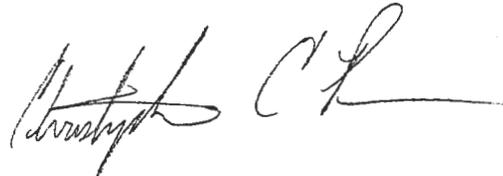
Should you have any questions, I can be reached by cell phone or email.



Fred A. Cattar

904 571 7247

FCattar@comcast.net

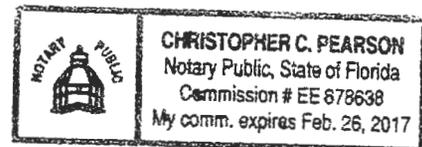


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SEP 20 2016

16-100173

PLANNING & DEVELOPMENT





CERTIFIED MAIL# 7012 2210 0002 4628 9378

Ref BOA# 16-100211

City of

November 3, 2016

Jacksonville Beach

Starfish Group Properties, Inc.

City Hall

Mr. Drew Cromer

11 North Third Street

1476 Greyfield Drive

Jacksonville Beach

St. Augustine, FL 32092

FL 32250

RE: BOA# 16-100173

Phone: 904.247.6231

1304 North 4<sup>th</sup> Street

Fax: 904.247.6107

(Lot 8, Block 135, *Pablo Beach North*)

Planning@jaxbchfl.net

Dear Mr. Cromer,

www.jacksonvillebeach.org

The Board of Adjustment for the City of Jacksonville Beach met and held a public hearing at 7:00 p.m. on Tuesday, November 1, 2016, to consider your application for a variance from the requirements of the Land Development Code.

As indicated in the application, the request was for the following:

- 34-339(e)(4)c.1, for a front yard setback of 10 feet in lieu of 20 feet required;
- 34-339(e)(4)c.2, for a northerly side yard setback of 6 feet in lieu of 10 feet required and a southerly corner side yard setback of 6 feet in lieu of 10 feet required;
- 34-339(e)(4)c.3, for a rear yard setback of 17 feet in lieu of 30 feet required; and
- 34-339(e)(4)e, for 66% lot coverage in lieu of 65% maximum

To allow for the construction of four townhouses.

The Board *denied* the request.

Please remove the public hearing notice posted on your property. Information about building permits, applications and checklists is available in our office or online at <http://www.jacksonvillebeach.org/business/building-permit-applications-and-checklists>. Please submit a copy of this approval letter when applying for any future development or building permit applications. If you have any questions regarding this variance or the permitting process, please feel free to call me at (904) 247-6235.

Sincerely,

Heather Ireland, AICP  
Senior Planner

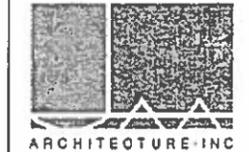
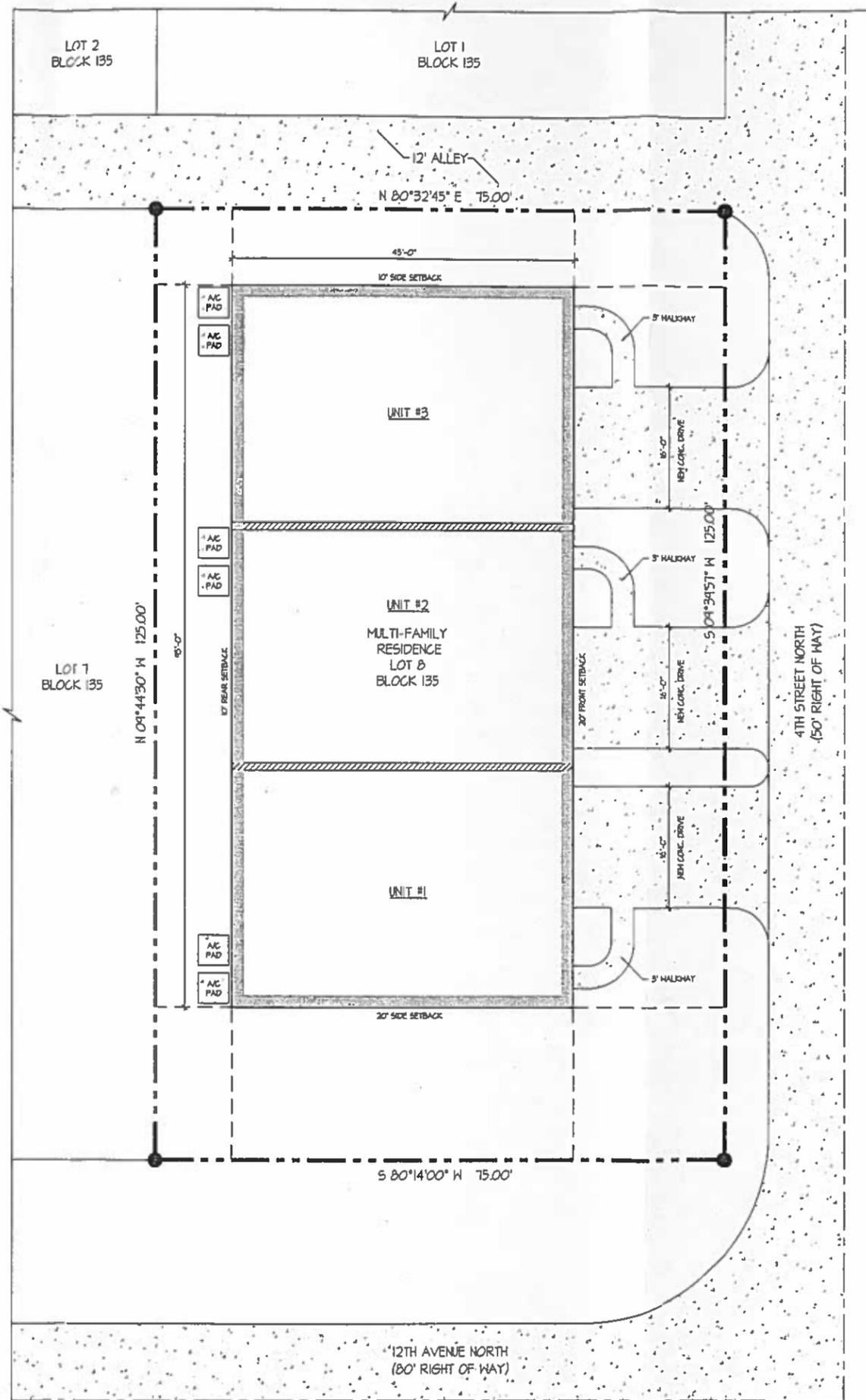


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 16-100211  
 NOV 22 2016  
 1-3-2017  
 PLANNING & DEVELOPMENT

**SITE PLAN NOTES**

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO STAKE-OUT PERIMETER OF STRUCTURE & FIELD VERIFY ALL SETBACKS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- FOOTPRINT PLACEMENT IS SHOWN FOR REFERENCE ONLY & IS SUBJECT TO CHANGE - REF. NEW SURVEY OR LANDSCAPE PLANS (FINAL HOUSE LOCATION TBD BY THE BUILDER OR G.C.)
- VERIFY EXIST FLOOD ZONES & COORDINATE ALL REQUIRED DOCUMENTS/REQUIREMENTS W/ NEW BUILDING LOCATION IF APPLICABLE.
- VERIFY ALL CODES & RESTRICTIONS WITH STATE & LOCAL MUNICIPALITIES PRIOR TO CONSTRUCTION.
- G.C. TO VERIFY ANY EXISTING STRUCTURES, SEPTIC, GAS, ETC. DEMOLISH & RELOCATE AS REQUIRED PER LOCAL CODES OR FINAL LOCATION OF NEW HOUSE
- \*\*ALL SERVICES TO BE PROVIDED BY - J.E.A.\*\*  
 (WATER, SEWER, & ELECTRICAL)
- \*\* THE APPLICANT/OWNER/CONTRACTOR SHALL IMMEDIATELY CONTACT DUVAL COUNTY LOT GRADING STAFF SHOULD MODIFICATIONS TO THE DRAINAGE PLAN BE REQUIRED DURING SITE DEVELOPMENT, BASED ON ACTUAL FIELD CONDITIONS.\*\*
- \*\* 1% MINIMUM SLOPE WILL BE PROVIDED FROM BUILDINGS TO DISCHARGE POINT PER SECTION 6.04.00H OF THE LAND DEVELOPMENT CODE\*\*

SITE INFO:	SITE CALCULATIONS:
ZONING: RM-1	TOTAL LAND AREA: 0.21 ACRES = 9,375 SQFT.
FLOOD ZONE: N/A	HOME COVERAGE: 4,275 SQFT. 45.6%
FRONT SETBACK: 20'-0"	% OF BUILDING COVERAGE:
NORTH SETBACK: 10'-0" SOUTH SETBACK: 20'-0"	DRIVEWAY, WALKS & HVAC COVERAGE: 1,174 SQFT. 12.51%
REAR SETBACK: 10'-0"	% OF STOODPS & HVAC COVERAGE:
	TOTAL IMPERVIOUS: 50.17%



JAA ARCHITECTURE INC.  
 3716 ST. JOHNS AVE.  
 JACKSONVILLE FL 32209  
 P: (904) 279-5108  
 E: JOHN@JAAARCHITECTURE.COM  
 LIC. AR92748

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NEW CONSTRUCTION  
**COASTAL TRIPLEX**  
 1304 4TH STREET NORTH, JACKSONVILLE BEACH, FL  
 32250

REVISIONS

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		



DATE: 11.22.2016  
 PRJCT #: 16-169

SHEET  
**A0.1**  
 PERMIT SET